

I. INTRODUCTION TO SILVERBROOK ESTATES

Silverbrook Estates welcomes all participants in this process of creating a new residential and commercial community on the outskirts of Kalispell, Montana. This beautiful farm country has provided the design impetus for generating a neighborhood of homes and businesses that reflect it in appearance and experience. As a project developer at Silverbrook Estates, you have become a stakeholder in the success of this unique community.

A. Character Goals & Vision of Silverbrook Estates

The intent of this development is to instill a feeling of integration and belonging with this new community in the rich farmland of Flathead County. A direct relationship to the historically agricultural surroundings is emphasized, to preserve and strengthen a sense of place. All involved are encouraged to be responsible stewards of this land. Basic design tenets include promotion of pedestrian interaction with nature and implementation of sustainable practices when beneficial to the overall development.



Decisions regarding design and construction on the land will take cause and effect into account, and aim to improve the inherent symbiotic relationship between the users of the land and the land itself. The layout of this community, which emphasizes the entry and the journey, establishes this as a welcoming place. The key relationship is between the residents, visitors, and the environment; interaction of these crucial entities is promoted through planning and architectural design

Any built elements within the development shall relate to the built agricultural languages surrounding them while not imitating them. Architectural cohesiveness and compatibility is strongly encouraged while still allowing individual expression and high quality of architectural design. The architectural vocabulary will reflect the surrounding farmland and the current contemporary age without intruding upon the land. There will be a relationship generated between adjacent units while anticipating an evolution of design as opposed to an abrupt change. All choices should be made to enhance Silverbrook Estates' role as a member of the larger community.

B. Sustainability Goals

Respect for, and mitigation of, the impact that humans have on our physical world is paramount to the concept of sustainability. As part of this development, we all strive to lessen the side effects of our built environment on the natural resources we hold so dear. The guidelines contained herein incorporate requirements that will ensure that Silverbrook Estates helps preserve the natural beauty and quality of life found in the Flathead Valley. These design features are intended to promote and ensure a more environmentally conscious way of living.

The sustainability requirements incorporated herein do not contribute negatively to the overall cost of the home, when compared to traditional, non-sustainable methods of construction.

C. The Developer and Silverbrook Estates

As a project developer or owner of property in Silverbrook Estates, you play an integral role in the realization of the goals that define and contribute to the overall quality of life of this community. This opportunity is balanced with several requirements and regulations that protect this vision and are delineated herein, as well as in the *Declaration of Covenants, Conditions, Restrictions and Reservations (CC&Rs)*.

The Master Developer (93 & Church, LLC) and the Design Review Committee are available for consultation regarding the guidelines, their implementation, and other related development issues.

D. The Purpose of this Document

This document prescribes and explains the design guidelines for all construction that will take place within Silverbrook Estates. The guidelines have been created to establish the design parameters that will result in the vision described above. They are based upon the objective of creating a strong, inter-related community that demonstrates a commitment to itself and the individuals residing and working there. These guidelines represent the high quality of design that will encourage this character, making Silverbrook Estates appealing to both residents and visitors.

These guidelines also provide specific information to developers and property owners about acceptable means and materials for designing their buildings, and the basic procedures to follow in order to smoothly proceed through the design, design review, and construction process. Basic site and building design tenets are addressed throughout this document, with the intent of promoting an environment that responds to the needs of the pedestrian, establishes and maintains a cohesive neighborhood identity, and respects the natural agrarian setting of Silverbrook Estates.

E. Amendment of this Document

Subject to the limitations set forth herein, these Design Guidelines, or any provision of it, may be terminated, extended, amended or revoked as to the whole or any portion of the Property as follows:

- During the Period of Declarant Control (as defined in CC&Rs), the Master Developer may terminate, extend, amend or revoke these Design Guidelines. A copy of the document stating the proposed action to be taken by Declarant shall be mailed to each Owner by first class mail, postage prepaid, to the address of the Owner in the records of the Association. Unless written objection is received by Master Developer from the Owners holding seventy-five percent (75%) of the votes within thirty (30) days of the mailing of the notice to the Owners, the proposed action shall be considered approved and shall become final. The Master Developer shall mail to each Owner a notification that such action has become final and a certification that fewer than seventy-five percent (75%) of the Owners objected to the action.
- After the Period of Declarant Control, these Design Guidelines, or any provisions contained herein, may be terminated, extended, amended or revoked upon the written consent of Owners holding seventy-five percent (75%) or more of the votes in the Association. The amendment will be effective upon the mailing of notice to the Owners that the Design Guidelines have been amended and a certification signed by an officer of the Association that the required number of consents of Owners were obtained.
- No termination, extension or amendment of these Design Guidelines will be effective in any event during the Period of Declarant Control unless the written approval of the Master Developer is obtained.

F. Organization of this Document

Chapter I introduces the broad goals of Silverbrook Estates and provides general information about this document.

Chapter II defines the Property Owners' Association, the Design Review Committee, and their respective roles in the development of this new community. This chapter also details the permitting and approval process.

Chapter III outlines the design review and approval process in the form of a flowchart.

Chapter IV describes and illustrates the Design Guidelines that are applicable to all development proposals for all land uses throughout Silverbrook Estates. The three primary development types are commercial, single-family residential, and R-4 Residential (as defined in Chapter VII). Guidelines are defined as mandatory requirements for development. The guidelines are categorized as Site Design, Landscape Design, and Building Design.

Chapter V through *Chapter VII* are organized like *Chapter IV*, however they describe and illustrate the guidelines that apply specifically to each of the specific land uses, as follows: Commercial, Single-family residential, and R-4 Residential. These guidelines are to be followed in addition to those in *Chapter IV*. Guidelines are defined as mandatory requirements for development. The guidelines are categorized as Site Design, Landscape Design, and Building Design.

Chapter VIII through *Chapter XI* are provided as references for contacts, documents, and applications. This information may change periodically. The DRC should be contacted for the most up-to-date information.

G. Definitions

Except as specifically defined herein, all capitalized terms shall have the meaning ascribed to them in the Declaration of Covenants, Conditions, Restrictions and Reservations, as amended.

II. SILVERBROOK ESTATES PERMITTING AND DESIGN REVIEW & APPROVAL PROCEDURES

The following permitting and approval procedures shall govern all permits and approvals required to be obtained in Silverbrook Estates. This process is also delineated in the flowchart in Chapter III. All the terms used herein are as defined in the Codes, Covenants, & Restrictions for the development.

Before initiating the review process with the Design Review Committee (DRC), all project developers or owners are encouraged to take the following steps to help organize their project.

1. Consider the use of a design professional.

Professional designers in the architectural, engineering, and landscape architectural fields are required for all commercial, Residential Town Homes, and landscaping projects. While the City of Kalispell does not require it, the use of such professionals is encouraged for the residential projects as well.

These guidelines are not intended to replace those valuable services provided by the professionals noted above. Use of design professionals may facilitate a smoother review process and ultimately save the owner time and money.

2. Make yourself familiar with all applicable local, county, state, and federal regulations and requirements.

The Design Guidelines stated herein supplement other relevant regulations and requirements. All project developers should become familiar with other applicable regulations as they relate to development at Silverbrook Estates. The developer should apply for and receive all applicable permits and approvals required by the City of Kalispell.

3. Make yourself familiar with all the Design Guidelines stated herein.

This document is structured to help you create a project that is of high quality design and construction, one that is a well-integrated design, and one that contributes to the high quality of the community. Following the guidelines closely will buttress this process. The DRC is available to answer questions regarding these guidelines and processes.

4. Schedule an Initial Plan Review.

While Initial Plan Review is not required for any project, it is highly advised. This process allows for a freer flow of information and exchange of ideas among the developer, designer, and DRC. This strategy engages the DRC early in the design, and prevents the possible need for redesign further along in the design process.

5. Prepare and submit a complete package for DRC review.

An application/checklist is provided in Section XI of this document for all items required for submittal to the DRC to review your project. By providing a complete and timely application and completed checklist, the DRC will be in a better position to review your documents. Without a completed submission, the DRC might not be able to complete their review; the documents will then be returned to the proposer. By following the requirements stated below for each application type, the development proposal can be more quickly evaluated by the DRC.

A. Administrative Organization

The Property Owners' Association (POA) is an organization that has been formed to implement, administer, and enforce the Declaration and other pertinent documents. The members of this group are the residential and commercial property owners and project developers within Silverbrook Estates. A Board of Directors is comprised of POA members elected by the POA; this board represents the POA and manages the business and administrative duties for the POA.

The POA has created the Design Review Committee (DRC) to represent the POA in a review capacity for the development projects within Silverbrook Estates.

B. Design Review Committee (DRC)

The DRC is established by the Property Owners' Association (POA), which is responsible for appointing members and terms. The DRC shall consist of three members appointed by the POA. The DRC shall interpret and enforce the Design Guidelines related to the external design, appearance, and location of all specified properties and improvements within Silverbrook Estates.

C. Committee Duties

The DRC is responsible for ensuring compliance with the Design Guidelines and performing the following duties:

1. Review

To review all of the following it deems necessary:

- a) Site plans
- b) Landscape plans
- c) Building drawings and specifications
- d) Material and color samples
- e) Other information deemed appropriate to individual proposals
- f) Design Review Checklist

2. Approve

To require all improvements, such as the following, to be reviewed and approved by the DRC in writing before construction commences.

- a) Construction of buildings, auxiliary structures or roads
- b) Renovation, expansion, or refinishing projects which impact the exterior appearance of the structure.
- c) Interior changes which affect the major function of a building
- d) Restorations
- e) Landscaping, Fences, and Walls
- f) Parking
- g) Signs and Exterior Lighting (and changes to same)
- h) Other Improvements specific to an individual proposal

D. Purpose of Design Review

Design review is an integral component of ensuring that the quality of the development will coincide with the overall vision. All new construction, including buildings and landscaping, shall participate in the design review process to ensure compliance with the Design Guidelines. The Silverbrook Estates Design Review Committee (DRC) is established and given the authority to coordinate, expedite, and assure fair and equitable enforcement of the Design Guidelines. The objective of this committee is to encourage designs which meet or exceed the requirements of the Design Guidelines.

These guidelines include the procedures for application, consideration, and approval of any building in Silverbrook Estates.

No construction shall commence, or landscaping installed, without the approval of the DRC. Each structure and any site improvement must be constructed in compliance with the Design Guidelines, including but not limited to, location, square footage and height requirements, environmental and landscaping components, color, material choices and usage, and all other requirements of the Design Guidelines, as well as all current jurisdictional design guidelines. No existing houses or buildings shall be moved upon any lot without the prior written approval of the DRC.

E. Design Review Procedures

The Silverbrook Estates DRC shall act in addition to, and not in lieu of, the City of Kalispell Planning Board & City of Kalispell Zoning Commission. The City of Kalispell Planning Board and Zoning Commission are not, however, appeal boards for the DRC. The DRC is given authority through the Declaration of Covenants, Conditions and Restrictions (CC&Rs) for Silverbrook Estates. A fee of \$200 for residential projects and \$1,000 for commercial projects shall be payable to the Silverbrook Estates Property Owners' Association for processing the review and approval of development plans and specifications.

Approvals shall be issued only for uses, developments, or structures which are in conformance with the City of Kalispell Zoning Ordinance, the Covenants of Silverbrook Estates, and the Design Guidelines stated herein.

Design Review is a two-phase process which includes Initial Plan Review and Final Plan Approval. This process will be followed for any major building project. However, owners may submit materials for Final Plan and Approval without an Initial Plan Review.

1. Initial Plan Review

- a) The Initial Plan review addresses the conceptual design of the project. The review will address existing site conditions and planned improvements, building floor plans and elevations, roof design, architectural character or expression, exterior materials, grading, drainage, and erosion control measures. Reference the Initial Plan Review Checklists and Evaluation Criteria for complete submission requirements.
- b) The Initial Plan review includes the following steps:
 - Owner/Architect prepares and submits to the DRC two copies of the Initial Plan which will include all information required by the Initial Plan Review Checklist.
 - DRC reviews Initial Plan at scheduled meeting and notifies Owner in writing of the findings within ten (10) business days.
 - If necessary, the Owner may, within thirty (30) business days, resubmit a revised Initial Plan or appeal to the P.O.A.

2. Final Plan Review and Approval

- a) The Final Plan review and approval addresses the final design details of the project. The review will address planned improvements, building elevations, building sections, roof design, architectural character or expression, exterior materials, site conditions, grading, drainage and erosion control measures. Reference the Final Plan Review Checklist and Evaluation Criteria for complete submission requirements.
- b) The Final Plan review and approval includes the following steps:
 - Upon approval of the Initial Plan the Owner/architect shall prepare and submit two copies of the final plan which shall include all information required by the Final Plan Review Checklist
 - DRC will notify Owner in writing of the Final Plan Approval decision within ten (10) business days. The DRC will outline the reasons for acceptance or denial.
 - If necessary, the Owner may, within thirty (30) business days, resubmit a revised Final Plan or appeal to the P.O.A.
- c) Upon issuance of written approval, the Owner may apply for a building permit from the City of Kalispell and design approval from the DRC.

F. Implementation

All designs will be presented to the DRC for review and cannot proceed without written authorization from the committee and receipt of a building permit from the City of Kalispell. The DRC is enabled with establishing design criteria where they are not called out sufficiently in the Design Guidelines. Where materials, designs, and colors are submitted that are deemed incompatible with the overall vision of the development, the DRC may advise the proposer of acceptable avenues or directions that are more in keeping with the development's image. When a design is outside the stated limits of the Design Guidelines, but still complies with the intent of the guidelines, the DRC can grant a variance as it deems appropriate. Such a variance is not to be interpreted as a revision or amendment to the Design Guidelines and does not apply retroactively to prior DRC approvals. A signed Final Plan Approval is contingent upon the understanding that the completion of all improvements will be in substantial compliance with the approved plans and specifications. Any changes in the design must be presented to the DRC for approval. Any use, arrangement or construction not in conformance with the approved plans and specifications shall constitute a violation of the *CC&Rs*.

The DRC has the authority to revoke or suspend the DRC's approvals and order the suspension or cessation of any construction in violation of the Design Guidelines and *CC&Rs* or any approval issued by the DRC. Building construction shall be completed within 18 months of commencement of construction, unless otherwise authorized in writing by the DRC. The DRC reserves the right to enter onto a lot or property to inspect the exterior of the building and related site components for compliance with the Design Guidelines.

G. Design Review Checklist

A Design Review Checklist is provided with this document for use by those submitting designs for review and by the DRC. A completed checklist shall be submitted with each design as an integral component of the documents to be reviewed by the DRC. Project approval requires that the applicable categories be in compliance.

At a minimum, all applications shall contain that information necessary to show that, if constructed as proposed, the proposed use, development or structure will conform to, and comply with, all of the requirements of the application regulations (zoning requirements and Design Guidelines).

H. Expiration of Development Approval

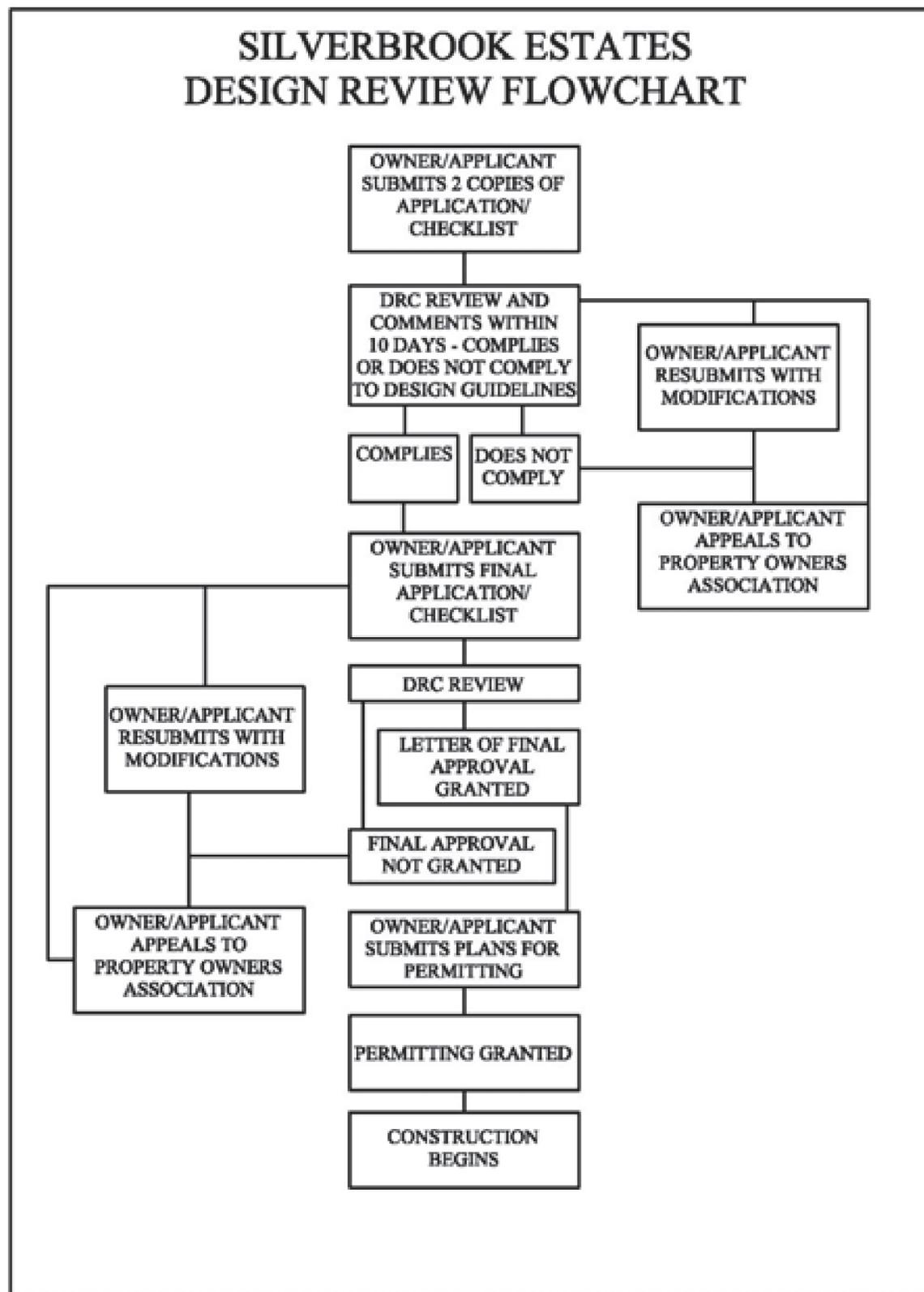
The following provisions apply to the expiration of Development Approval:

1. An approval shall expire if the building or work authorized by the permit has not commenced within twelve (12) months from the date of issuance of the permit or if the building or work authorized by the permit is suspended or abandoned at any time after the work is commenced for a period of six (6) months.
2. After an approval has expired, no work can be recommenced until a new approval is obtained. The fee for a new approval shall be one-half of the amount required for the

original permit, provided that no changes have been made or will be made in the original plans and specifications for the work and that abandonment has not exceeded twelve (12) months.

3. All exterior construction shall be completed within eighteen (18) months from the date building construction commences. This includes construction of the exterior of all structures, all required parking, and placement of required screening.

III. SILVERBROOK ESTATES DESIGN REVIEW & APPROVAL PROCESS



IV. GENERAL DESIGN GUIDELINES

The following design guidelines define the established parameters for quality and consistency of site, building, and landscape design which will provide a beautiful community and protect property values. While individual expression is encouraged, it must be harmonious with the overall character set forth in these Design Guidelines.

All structures shall be built in strict conformance with these Design Guidelines, which have been adopted, per the *CC&Rs* to govern the building of any and all structures in Silverbrook Estates. Refer to the *CC&Rs* for all legal requirements. These guidelines are specific mandatory provisions for implementing the vision of this new community.

These General Design Guidelines apply to all development in Silverbrook Estates. In addition to these general guidelines, all proposed development must adhere to the specific guidelines that apply to their land use. For example, a proposed development in the Neighborhood Commercial area references *Chapter IV* and *Chapter V* to plan their project.

A *Guideline* is defined as a requirement specifying a particular aspect of site or building design and is thus mandatory. Images are included throughout to illustrate the guidelines. They are not meant to be all inclusive or representative of the only design solutions that comply. The graphic examples are meant to clarify the intent of the guidelines and can often provide a starting point for the design process.

A. General Site Design

1. Transportation and Circulation

This section describes all types of vehicular and pedestrian circulation within Silverbrook Estates. These guidelines are minimum requirements and are not meant to replace industry standards or acceptable alternatives, when reviewed and approved by the DRC.

A well-designed transportation and circulation system includes:

- Addressing residential densities; demographics of Silverbrook Estates; local and national standards; sensitivity to environmental, land and cultural issues; and overall safety.
- Designing with all the appropriate industry standards, as governed by design and engineering professionals, including width of circulation routes or paths; turning radii; sight vision triangles and distances; horizontal and vertical curvature; design speed; angle of intersections of streets, drives and paths; and grading and drainage.
- Incorporating transportation networks into neighborhood and community while minimizing safety conflicts and providing effective routes throughout Silverbrook Estates and to adjacent areas.

- Separation of vehicular and pedestrian traffic where possible or the mitigation of potential conflicts if separation is impossible.
- Efficiently planned transportation and circulation systems and patterns to preserve open space, and to create purposeful and usable public and private spaces.

A well-designed transportation and circulation system should also address the needs of the pedestrians within Silverbrook Estates. The design of all circulation routes should be developed to encourage pedestrian activity. The quality of life will be enhanced through an increase of walking and biking throughout Silverbrook Estates.

Developing and maintaining an appropriate level of human scale and detail can enhance pedestrian experiences. Variety in color and texture in building and landscape design is also desired to provide visual interest. Pedestrians should find that walking along a pathway or down a sidewalk elicits a comfortable and pleasant experience. The scale of buildings and the architectural treatments, along with landscaping, ground plane treatments, and site furniture should enhance this pedestrian-oriented experience.

a) Parking

- All parking lots or parking areas shall be designed and installed according to the following requirements, unless the property is located within the Parking District.
- All parking lots shall be constructed with standard six-inch curb and 18-inch gutter. All planting beds or islands within the parking lot shall also be constructed with curb and gutter.
- All parking lots located within the Parking District shall be designed according to Kalispell Parking Ordinances and these minimum guidelines.
- All parking spaces within Silverbrook Estates shall meet the minimum standards for off-street parking as per Chapter 27.26 of the Kalispell Zoning Ordinance.
- Parking areas shall be screened from view of the public right-of-ways, pedestrian plazas and adjacent residential properties.
- Off-street parking shall be located behind a building, unless otherwise approved by the POA.
- Parking lots shall be constructed of modular pavers, concrete or asphalt. Durable permeable pavement options are strongly encouraged.

b) Accessible Parking

- All handicap accessible spaces shall conform to the federal standards enumerated in the Americans with Disabilities Act (ADA) and the Federal Standard 795, (Uniform Federal Accessibility Standards), or applicable current regulations.

c) Safety

- All streets and parking lots within Silverbrook Estates shall be designed to promote safe and efficient circulation while providing access to individual parking spaces, buildings, and facilities for vehicles, bicycles and pedestrians.
- No parking or loading area should create a situation in which vehicles are required to back onto a public road.

- Parking areas for single-family dwellings with access to local and collector roads are exempt from this requirement.
 - Parking areas for R-4 Residential dwellings with access to local and collector roads are exempt from this requirement only when individual driveways are provided for each lot.
 - All parking lots shall provide proper grading and drainage to allow safe and efficient movement of pedestrians and vehicles throughout the parking lot.
 - Clearly identify access points for vehicles and pedestrians.
- d) Loading Areas
- Loading areas shall be designed according to the requirements of the City of Kalispell Zoning Ordinance.
- e) Parking Lot Snow Storage and Removal
- The POA will provide snow removal for the commercial district parking and pedestrian circulation system within the Neighborhood Commercial area. The POA is not responsible for snow plowing or maintaining sidewalks or driveways within residential lots
 - All residential lots shall provide their own plowing and shoveling for all sidewalks adjacent to their property lines and to the edge of the curb for their driveways.
 - Each parking lot shall provide adequate snow storage area for excessive snowfall during the winter months.
 - The snow storage areas should be well integrated into the storm water management system and grading and drainage of the site.
 - The snow storage areas should be attractive and well drained during the summer months, in order to maintain a pleasant appearance of these areas and not allow standing water to form.
- f) Stormwater Drainage
- A stormwater drainage and management plan shall be submitted for all parking lots that are over 20,000 square feet in area.
 - All stormwater shall be directed to the streets, where it will be collected and transported to the retention ponds.
 - The stormwater drainage and management plan should be designed to accommodate the approximately 63 inches of snow that falls annually in the Kalispell area.
 - No lot shall direct runoff or stormwater onto another lot.
- g) Parking Lot Lighting
- Reference lighting for guidelines for parking lot lighting.
 - The project developer is responsible for the installation of all parking lot lighting, except within the parking district, and street rights-of-way. Fixtures shall conform to the specifications provided by the DRC. The specifications for the light fixture will be provided by the DRC.

- The requirements, as outlined in “Lighting,” will ensure that lighting is not excessive and minimizes glare or deflection of light to adjacent properties and streets.
- h) Parking Lot Landscaping
- See Landscaping Requirements.
 - These guidelines will ensure that parking lots are screened from adjacent properties and streets and those parking lots are not cold and empty spaces.
- i) Pedestrian Circulation
- The Master Developer is responsible for installation of sidewalk improvements(exclusive of driveways) in the right-of-way adjacent to each lot. The Master Developer can address these improvements in one of three ways: install these and incur the expense; install these and transfer the cost into each lot; or have the lot owner install them according to city standards and have the Lot Owner pay for the maintenance. In all three options, each Lot Owner is responsible for maintaining all adjacent sidewalk improvements in the rights-of-way adjacent to their Lot, except along Silverbrook Drive. The POA will be responsible for maintaining all sidewalk improvements in the rights-of-way of Silverbrook Drive and adjacent to parks and Open Space. Maintenance includes shoveling and paying for repairs.
 - The perimeter of each lot along the road right-of-way shall have five (5) foot wide sidewalks that are inviting to pedestrians and link to adjacent property’s sidewalks or pathway systems.
 - A six-foot to seven-foot landscaped boulevard strip shall be maintained between the roadway back-of-curb and the sidewalk. Sidewalks shall be located in the right-of-way.
 - The Master Developer is responsible for installation and POA is responsible for maintenance of bicycle/pedestrian path improvements in open space lots.
 - Provide bicycle parking and storage facilities on each commercial lot.
 - Bicycle path alignment may meander slightly to add visual interest.
- j) Emergency Access and Fire Protection
- Consult with the Kalispell Fire Department and local applicable building codes for information regarding emergency access and fire protection on lots within Silverbrook Estates.

2. Site Furnishings, Trash Receptacles and Mechanical Equipment

- a) Site Furnishings
- Site furnishings shall be provided at all commercial and Open Spaces.
 - Site furniture shall be simple in character.
 - Site furniture, like signage, shall be designed to be compatible with the natural character of Silverbrook Estates and its surroundings, while addressing the needs of the project.

- If the project developer prefers a site furnishing that is not illustrated here, they should submit manufacturer cut sheets and/or samples to DRC for review and approval.
- Public Open Spaces shall have trash and recycling receptacles placed near seating areas and points of entry.
- The Master Developer is responsible for installation of site furnishing improvements in all Open Spaces. The POA is responsible for all maintenance of such improvements and may elect to install additional or replacement furnishings at a later time.

b) Benches

- All commercial lots shall have at least one (1) bench installed for every two (2) building entrances on the Lot.
- Some benches or seating should face each other to encourage human interaction.
- Benches may be backless to prevent obstruction of view and to maximize use in limited spaces.
- Benches with backs, as shown below, encourage lingering. See image of acceptable bench below.
- A list of acceptable benches will be provided by the DRC.
- Benches installed with commercial projects shall be specified by the DRC.



c) Bike Racks

- All commercial lots shall have at least one (1) bike rack installed for each building entrance on the lot. The project developer may group bike racks into one or two main entrances on the site in order to centralize bike parking facilities.
- Bike racks for parks, Open Space, and residential areas should be constructed of a combination of metal and wood.
- All bike racks within the commercial area shall be single-loop painted metal racks as specified by the DRC and as shown in the image above.



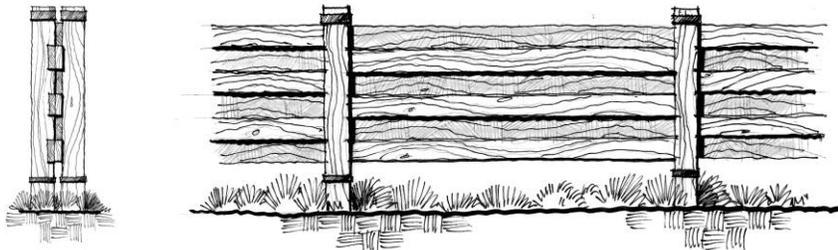
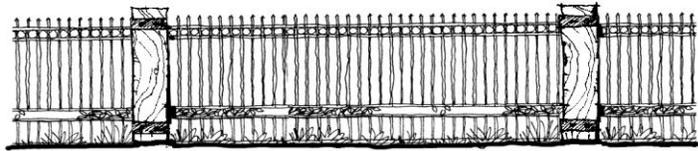
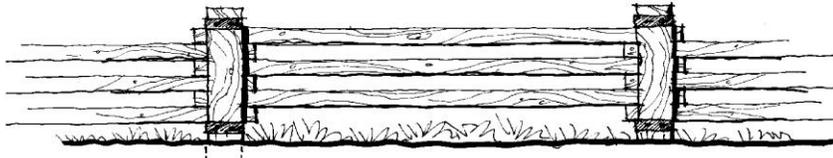
d) Trash Dumpsters and Animal-Proof Waste Receptacles

- All commercial buildings shall provide at least one enclosed or screened trash dumpster per building.
- All trash dumpsters shall be screened from parking lots, outdoor eating areas, sidewalks, adjacent public or private streets, adjacent residential properties or dissimilar land uses by means of a durable enclosure.
- All commercial trash dumpster enclosures shall have three permanent non-movable sides and one side that can be accessed for container removal by the contracted trash collector.
- All commercial trash enclosures shall be constructed of attractive and durable materials that complement the architecture and materials of the buildings on the lot.
- All permanently fixed waste receptacles within Silverbrook Estates shall be animal-proof as approved by the DRC. An example of an acceptable receptacle is shown here.
- The Master Developer shall provide at least one (1) waste receptacle within the streetscape in front of each commercial building.
- All waste receptacles within Open Spaces shall be provided and installed by the Master Developer
- Residential trash containers should be approved by the contracted trash collector and should be stored in a garage or shed.
- The trash enclosures and containers should be maintained in good condition at all times.



e) Mechanical Equipment

- Ground-mounted mechanical equipment shall be located so that it is accessible for routine maintenance and repair.
- Screening of mechanical equipment can be achieved either by architectural or landscape architectural methods. Using parapet walls, building vents or equipment into the roof, or concealing equipment with fences, shrubbery or trees all works well.
- *Satellite Dishes:* Per the Federal Communications Commission (FCC), restrictions cannot be placed on video antennas including direct-to-home satellite dishes that are less than one meter in diameter, TV antennas, and wireless cable antennas. The use of direct-to-home satellite dishes that are larger than one meter in diameter shall not be permitted in Silverbrook Estates. Such devices that are permitted shall not be located in the front yard, or on primary facades or roofs.



f) Fences

- All fences shall be approved by the DRC prior to installation. See previous page for images of acceptable fences.
- Fences installed by the Developer along Silverbrook Drive, Church Drive or other perimeter fences may not be altered by Owners.
- In commercial areas, fences may be constructed where it is desirable to screen mechanical equipment, trash dumpsters/receptacles or freight loading areas.
- Fences are prohibited in front yards.
- Fencing shall be a maximum of six (6) feet (measured from finished floor level of primary structure) or lower except when:
 - Within 25 feet of street intersection and then no taller than three (3) feet
- Fences or enclosures should have at least one perimeter access point for the property or space in which it provides enclosure.
- Where fencing is attached to the building or used for screening adjacent to the building, fencing materials and design shall use the same architectural expression as the main structure.
- Residences may choose one of the fences shown. The appropriate material for all residential fences is wood, with optional cast metal or wrought iron.
- Appropriate commercial screen fence materials are wood, stone or masonry, wrought iron or cast metal.
- Prohibited materials for fences include chain link, slatted “snow” fences, and mesh “construction” fences.
- Retaining walls should not exceed three (3) feet in height unless designed and engineered to industry standards for structural integrity.
- For the purpose of fence locations, the front yard is measured from the front building wall of the building, where it meets with the side building wall, extending the distance to the front property line.

3. Signs for Common Areas & General Guidelines for all Signs

Signs provide a strong visual connection within the community, and provide information about the activities in the development. Signs should engage and complement the design of the commercial district. Wall signage integrated into the overall building design is preferred over free standing signage. The signage guidelines allow for signs that reflect the quality of Silverbrook Estates and that complement the rural Kalispell farmland surrounding it. Signs in the common areas shall be used to identify site improvements that are meant to be enjoyed by all, and are meant to ease traffic (pedestrian and vehicular) through the subdivision and its adjoining commercial district. The following guidelines also apply to both commercial and residential properties; see Neighborhood Commercial, the Single-Family Residential, and the R-4 Residential Design Guidelines for requirements specific to those property types.

- a) Applicants shall submit a signage plan for review by the DRC. The plan shall include dimensioned elevation drawings of the signage as it relates to the building. If the sign projects from the building, a scaled cross-section drawing shall be provided



for review. The DRC reserves the right to enter onto a property or lot to inspect for compliance with the Signage Guidelines.

- b) The Kalispell Zoning Ordinance shall be supplemented by the Signage Guidelines provided below.
- c) Materials and Design:
 - Signs shall be of high quality design and construction.
 - Signs shall be constructed of high quality, durable materials such as metal, timber, and stone.
 - All materials shall be able to resist wind, snow, temperature, and other environmental factors.
 - Exposed fasteners, hangers, and brackets shall be secure and watertight.
 - Painted surfaces shall be minimal and well maintained for the duration of the sign.
 - Natural stone is permitted; faux stone and the like shall not be permitted unless detailed to appear like natural stone.
 - Colors shall be muted and should complement the building designs; bright colors may be used only for accent features.
- d) Sign illumination: Refer to Lighting.
- e) The following signs are permitted in common areas:
 - Hanging and banner signs, with the following provisions:
 - Hanging signs hang down or are suspended from an awning or the underside of a horizontal or inclined surface.
 - Banner signs are constructed of light-weight fabric and permanently mounted to a building, pole, or other structure on a permanent frame.
 - Hanging and banner signs shall be suspended from light standards in the commercial district. They shall be erected by the Master Developer and maintained by the POA.
 - Banner signs shall be constructed of lightweight water-resistant fabric.
 - The area of the sign shall be a maximum of 15 square feet in size.
 - The sign shall be secured at both ends.
 - The bottom of the sign shall be a minimum of eight (8) feet above the sidewalk/grade, except as noted below.
 - If the sign is located over a landscaped bed, the bottom of the sign may be seven (7) feet above the plantings.
 - Directory signs, with the following provisions:
 - A directory sign is limited to directional messages and is intended to convey information regarding the location of specific features of the site or to announce regulations regarding traffic and circulation.
 - In the commercial district, a maximum of 32 square feet of directory signage is allowed per isolated commercial building, commercial district, or open space access (vehicle or pedestrian) to provide information. A kiosk is a type of directory sign. See the prior page for image of acceptable directory sign.

- In the residential neighborhood, a maximum of 32 square feet of directory signage is allowed to provide information regarding location of streets or other amenities. These shall be erected by the Master Developer and maintained by the POA.
- Directory signs shall include information regarding locations of streets or businesses.
- Directory signs shall not be more than 15 feet high (above average grade), including base or support.
- Monument signs with a low profile – typically wider than tall – shall not be more than eight (8) feet high (above average grade), including base, support, or berm. Monument signs shall not be located within the 100-foot impact area adjacent to US Highway 93. These shall be erected by the Master Developer and maintained by the POA.
- Street signs:
 - Street signs shall be erected by the Master Developer and maintained by the POA.
 - Street signs shall be placed at all intersections and other locations as necessary.
 - Street signs shall be constructed of durable materials.
 - Poles shall have a minimum height of 6’-6” and be of stone, timber, or rustic metal.
 - Street sign text shall be a minimum of four inches high and designed to be visible at night.



f) The following signs are not permitted anywhere in the development:

- Roof mounted signs, except where integrated into the architectural design of the building
- Internally illuminated signs
- Neon signs (except for lettered signs only, with letters less than or equal to six inches high). See image of acceptable neon lettered sign below.
- Electronic message boards
- Reader boards
- Billboards and signs off-premises
- Pole signs
- Banner signs, except those provided by the Master Developer
- Balloons or inflated animals
- Pennants, streamers, spinners, and revolving signs
- Signs which obscure significant views



- g) The following signs are exempt from the Design Guidelines and do not require a sign permit from the DRC:
- Signs required for public notice by Federal, State, or local law, regulation, statute, or ordinance.
 - Public transportation and utility signs.
 - Signs erected by authorized governmental agencies, utilities, or contractors to alert and identify construction within the right-of-way.
 - Holiday decorations and lights, with the following provisions:
 - The decorations and lights do not promote a commercial enterprise or interest.
 - Such decorations shall not be installed on commercial properties and common amenities prior to 15 calendar days before the related holiday.
 - Such decorations shall be removed from commercial properties and common amenities within 15 calendar days of the related holiday.

4. Lighting

- a) Reference the City of Kalispell Zoning Ordinance for minimum lighting requirements at Silverbrook Estates.
- b) All commercial parking lot, street, and roadway lighting shall be designed according to the minimum standards as outlined by the Illuminating Engineering Society (IES), unless otherwise approved by the DRC. This includes meeting minimum average lighting levels as well as uniformity ratios.
- c) In most cases, parking lots should be a minimum of 0.2 footcandles, and enhanced security parking lot lighting levels should be about 0.5 footcandles. In general, parking lot drive lanes should be 0.3 – 0.4 footcandles of illumination.
- d) In no case shall the lighting in Silverbrook Estates exceed seven (7) footcandles of illumination, unless otherwise approved by the DRC.
- e) All commercial final DRC reviews shall be submitted with a lighting plan that has a photometric point-by-point lighting calculation grid showing footcandle levels including maximum footcandles, minimum footcandles, and uniform lighting ratios.
- f) Night lighting for all projects shall be subdued and harmoniously blended into the natural nocturnal ecosystem.
- g) Site lighting shall provide safe and enjoyable experiences for pedestrian or community activity at night.
- h) Site lighting shall be at a pedestrian scale and should help define functional areas of a property.
- i) Site lighting shall be scaled appropriately for the commercial or residential property on which it is located
- j) Avoid duplicating fixtures. Do not use two fixtures that light the same area.
- k) Specifications for all parking lot lighting fixtures within the commercial area shall be available from the DRC.
- l) Specifications for all street lighting fixtures within the commercial area shall be available from the DRC.
- m) Specifications for all street lighting fixtures within the residential area shall be available from the DRC.

- n) Colored light sources or bulbs shall not be permitted, except for restricted use of neon signs as described above.

5. Outdoor Storage

- a) All storage on all lots shall be contained within the confines of the building, the garage or approved sheds.

6. Public Art

- a) The use of public art in pedestrian plazas, open space, and near building entrances is encouraged.
- b) The proposed installation of any public art in Silverbrook Estates shall be reviewed and approved by the DRC prior to fabrication.
- c) Consider locations where art may be viewed from pedestrian and vehicular circulation routes.
- d) Art that is developed as an integral part of the architecture is also encouraged.
- e) The placement of public art should be coordinated with the development of open space on a lot.

B. General Landscape Design

All landscape plans must comply with the following mandatory landscape provisions of this chapter and the landscape provisions specific to the land use in which the lot is located (Neighborhood Commercial, Single-Family Residential, and R-4 Residential).

These landscaping requirements are essential to providing Silverbrook Estates with an attractive and ecologically balanced environment that provides positive experiences for residents and visitors alike. These requirements provide for the buffering of properties from wind and snow; the screening of parking from residences and pedestrian areas; the preservation and enhancement of land value; the enhancement of entry areas to the development and to individual buildings; the conservation of water and the use of native or naturalized plant species; and the development of enjoyable and pleasant environments for all.

Commercial landscape and irrigation plans shall be prepared and certified by either a certified irrigation designer for irrigation projects or a professional designer who is a registered Montana Landscape Architect; an individual with a degree in landscape design and two years of professional design experience; or an individual with a degree in a related field (such as horticulture, botany, plant science) and at least five years of professional design experience. Single-family and R-4 Residential projects may be designed and installed by a landscape designer or contractor. All landscape plans shall contain the name and contact information of the Landscape Architect or designer and be submitted to the DRC for review and approval.

In order for the development to quickly establish a permanent and comfortable presence, all front, rear and side landscaping must be installed within the first growing season following the occupancy of the residential and/or commercial structure.

1. General Landscaping

- a) Tree Preservation
 - Existing large trees over four inches in caliper and other vegetation on-site shall be preserved and maintained, whenever possible.
 - Proposed developments shall strive to preserve the maximum number of trees that would maintain a healthy state for at least twenty years after construction.
 - In wooded areas, the lot developer shall avoid excessive compaction under trees; placing backfill or grading material against existing trees; disturbing or felling trees needlessly; burning slash piles near existing trees, especially those with low branches or very flammable material; and changing grades excessively by means of cut and/or fill.

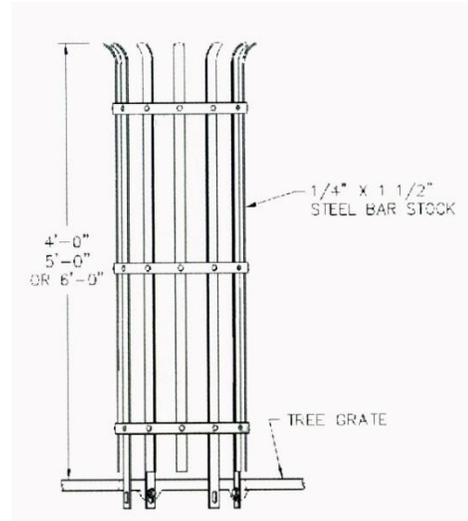
- b) Soil Protection
 - Remove topsoil from area; stockpile and cover for future use.
 - Incorporate temporary seeding and mulching it to prevent wind erosion during the construction process.
 - Have replanting/rehabilitation plan implemented within 45 days of substantial construction completion.

- c) Street Trees
 - Trees in Open Space, parks, and common areas:
 - The Master Developer shall plant all street trees within the rights-of-way for all open spaces, parks, and commonly owned areas. The POA will maintain all right-of-way street trees within these areas.
 - Trees in Commercial Areas:
 - The Master Developer shall plant street trees in the commercial areas at the rate of one tree per 50 linear feet of street frontage. The POA will maintain these trees.
 - Trees shall be protected with the specified tree grates.
 - Trees in Single-family developments:
 - Single-family developers shall provide street trees in the right-of-way. Such trees shall be planted at the rate of one tree per 50 feet of street frontage that is adjacent to their lot.
 - Trees in R-4 Residential developments:
 - R-4 Residential developers shall provide street trees in the right-of-way. Such trees shall be planted at the rate of one tree per 50 feet of street frontage that is adjacent to their lot.
 - Street trees shall be a minimum of 2 ½" caliper.
 - Electrical conduit to the tree grate area, tree guards and tree grates shall be provided and installed by the Master Developer, and shall be maintained by the POA. The model and make of these fixtures is regulated by the DRC and shall be provided as indicated in the illustrations that follow on this page.
 - The Master Developer shall install and the POA shall maintain all street trees within the rights-of-way along Silverbrook Drive.

- Approved street tree species, size, and specification shall be provided by DRC upon written request.



Tree Grate, Neenah Foundry Company, Boulevard Collection, Model R-8708, Unpainted



Tree Guard, Neenah Foundry Company, Type C, 5'-0", Unpainted

d) Acceptable Landscape Materials

- Plant material palettes shall be simple in nature.
- Landscape materials used shall be chosen for their drought tolerance, native and/or naturalized characteristics, and ability to weather the 1B and 2A climate/planting zones associated with the Kalispell area.
- No artificial plant material shall be used to satisfy the requirements of landscape materials.
- Landscapes shall not include plantings of a noxious weed classification, as determined by the Flathead County Weed Control District, including but not limited to soil or seed mixtures containing Spotted Knapweed, Diffuse Knapweed, Russian Knapweed, Canada Thistle, Field Bindweed, Whitetop, Leafy Spurge, Dalmatian Toadflax, Yellow or Common Toadflax, St. Johnswort, Sulfur Cinquefoil, Common Tansy, Ox-eye Daisy, Houndstongue, Dyers Woad, Purple Loosestrife, Tansy Ragwort, Meadow Hawkweed Complex, Orange hawkweed, Tall Buttercup, Tamarisk (Salt Cedar), Perennial Pepperweed, Yellow Starthistle, Rush Skeletonweed, Eurasian Watermilfoil, Yellow Flag Iris and Common Crupina.
- Simple, bold forms in planting areas with massing of a few hardy species are preferred to sporadic and singular plantings of marginal species.

- The Landscape Architect/Designer should consult Montana State University Extension Offices for information regarding appropriate plant species, including trees, shrubs, perennials, and grasses.¹
- e) Use plant materials in quantities and sizes that will have a meaningful impact in the early years of the project.
- f) A natural look may be achieved with the use of non-native species that are deemed to be well suited for the Kalispell area. Ornamental grasses are encouraged to emulate the native Montana prairie grasses.
- g) Plant Sizes
- All plant material installed shall conform to the following minimum size requirements at time of installation.
 - Required plant sizes:
 - Large Deciduous Canopy Tree (30'+ mature ht): 2-1/2 inch caliper at the time of planting
 - Large Coniferous Tree: Eight (8) feet tall B & B
 - Small Ornamental Tree (12'-25' mature ht): Two-inch caliper
 - Small Coniferous Tree: Six feet tall B & B
 - Med-Lg. Deciduous Shrub: Five-gallon container
 - Med-Lg. Evergreen Shrub: Five-gallon container
 - Perennial: One gallon container
- h) Foundation Plantings
- Foundation plantings shall be used to screen unsightly foundations and exposed space under porches or in areas where extreme grade changes occur – as in image below.
 - It is highly desirable to accent the architectural qualities of buildings with attractive and well-designed foundation-style plantings.
 - Foundation plantings may be mounded and massed to accent the entrances to the buildings in the commercial areas and to create interest at residential properties.
- i) Native Landscaping
- The project developer shall maintain as much "native" landscape as possible.



¹ If these plant species are not available at local nurseries, the Landscape Architect/Designer may suggest alternative plant materials to the DRC. All plant material shall conform to the American Nursery and Landscape Standard for nursery stock and be free of invasive weeds, be healthy, and disease free.

- “Native” or naturalized plant materials shall be used in preference to introduced or experimental species.
- Areas replanted with “native” plant materials shall be planted with similar species and similar plant material sizes.
- The landscape should revert to “native” plant and construction materials at edges of property, changes in topography, or at outcroppings or edges of ravines. This transition in the landscape, whether with plant materials, rock, or grade change, is essential in creating a more natural environment where the manicured look is not desired.

j) Parking Lot Landscaping

- Parking lot landscaping does not apply to residential projects.
- The minimum width and/or length of any parking lot landscaped island shall be eight (8) feet (measured from back of curb). These landscaped areas within the parking lot shall contain at least one (1) tree and six (6) shrubs and/or groundcover on the ground plane.
- All parking lots shall contain at least one (1) large canopy tree for every ten (10) parking spaces within that parking lot.
- All parking lots with ten (10) or more parking spaces shall contain no less than 20 square feet of landscape area within the parking lot for every five (5) parking spaces provided on the lot
- Planted medians or islands should be automatically irrigated. Irrigation sleeves should be installed prior to paving or per the landscape and paving contractor.
- All landscaping near parking lots should not impede snow removal. Use ground cover or trees to minimize conflict with snow removal.
- Definitions of plant material sizes are located in Chapter IV, section “g” on “Plant Sizes.”

k) Irrigation

- All landscaped areas, including parking lots, perimeter landscaped treatments, boulevards and right-of-ways, lawn areas, shrubs, and flower beds, shall be watered with a permanent, automatic irrigation system installed by a qualified irrigation contractor.
- Irrigation of landscape shall be prohibited from the hours of 11:00 a.m. to 4:00 p.m.
- Irrigation systems shall be equipped with a master shut-off valve and a city-approved backflow preventer.
- Irrigation systems shall be designed for minimal necessary water output.
- The use of drought tolerant or naturalized plant species is highly recommended to reduce dependence on irrigation during the “drought” season in Kalispell. Please refer to the Montana State University Extension Offices for appropriate plant species.
- Irrigation shall not endanger the stability of a slope, particularly on Lots adjacent to the Stillwater River and its tributaries.

l) Screening and Buffering

- The project developer shall mitigate conflicts between dissimilar land uses.
 - All plant material used for screening or buffering shall be installed according to the minimum sizes stated in the "Acceptable Landscape Materials," section of this document and shall be planted along the entire perimeter of the parking lot and should have a mature height of four (4) to six (6) feet, within ten (10) years.
 - All commercial lots adjacent to residential areas or parks or Open Space shall screen that commercial use, especially parking and loading areas, by means of landscape plantings.
 - Residential developments adjacent to Open Space and along Silverbrook Drive shall screen back yards from trail corridors, hillsides or the street by planting landscape materials that are varied in height and massing in order to provide an attractive transition between the built environment and the natural landscape
 - Screen parking lots from adjacent properties and streets.
 - Dense plantings of evergreens can provide a visual buffer between different uses.
 - Create berming, where applicable, to mitigate unsightly views, lessen noise from streets and drives, channel pedestrian movement, and provide privacy to residential properties.
 - Provide dense plant material, hedges and/or fences to provide division between land uses and to provide safety between pedestrian and bicycle access between land uses.
- m) Maintenance, Completion and Warranty
- All front, rear and side landscaping shall be completed within the first growing season following occupancy of the building construction.
 - The project developer shall choose a landscape contractor that will install all landscape elements and warranty all landscaping for at least one year.
 - The project developer shall repair and incur expenses for any damage to utility lines, resulting from their negligence or the negligence of any of their agents, contractors or employees.
 - The POA will contract landscape maintenance services for developments within the Neighborhood Commercial areas.
 - R-4 Residential and single-family project developers shall maintain all landscapes within their property, adjacent rights-of-way, and street trees in a healthy and good condition throughout the growing season.
 - If fencing or netting is required in the fall to protect against animal damage, it should be installed by October 1st and removed by May 1st of every year
- n) Conflict with Utilities
- All landscape plans shall clearly illustrate all existing and proposed utilities and infrastructure, both in plan and legend.
 - All landscaping and irrigation installation shall begin only after a thorough utility location survey is completed.
 - All trees, including those planted in the right-of-way, shall be planted at least ten (10) feet from all utility lines or per utility company requirements, whichever is greater.

- All plantings and irrigation within utility easements shall begin only after discussing their locations with the appropriate utility providers.
- o) Open Space
- Common Open Space for the entire Silverbrook Estates will be provided by the Master Developer.
 - Project developers may provide additional open space within their lots, if desired.
 - Create spaces with distinct identities within projects.
 - Connect open spaces among large projects by maximizing existing resources or areas, while preserving natural habitat.
 - Adjacent project developers shall coordinate, if possible, the planning and design of open spaces that might be shared by both.
 - Open space can be active or passive.
 - Lawns, gardens, eating courts and decks, porches, balconies and plazas function as usable open space.
 - Locate open space in areas that receive sun.
 - Undeveloped land that remains after construction of the building and parking is not considered functional open space. Open space must be considerably and deliberately designed and developed to be functional and pleasing.
- p) Stillwater River Hillside Landscaping
- Plant materials shall blend with the hillside and transition back to native species.
 - Do not locate activities adjacent to the river hillside areas that would disrupt the character of these areas.
 - Maintain a natural edge to the areas adjacent to the river and its natural tributary.
 - Provide limited points of access to trails or pathways along the river.
 - Utilize landscaping features to provide natural buffers or screens between development and the hillside.
 - Hillside landscaping should be natural and subdued in character.
 - Use native or naturalized plant species that require little or no irrigation.
 - Preserve existing plant materials by limiting development, compaction and disturbance in these areas.
 - Decks, other built structures and activity areas should be set back from the hillside.
 - Provide a buffer zone, or passive space, between activity on private property and the hillside or adjacent open space.

2. Site Grading and Stormwater Management

- a) Grading is designed for the following functional and aesthetic reasons:
- To ensure adequate surface water runoff away from structures and critical areas.
 - To create suitable building conditions for utilities, structures, roads, parking, walkways, and recreation areas.
 - To create usable and maintainable surface slopes.
 - To create earthen berms for the control of wind and noise.
 - To help preserve existing vegetation.

- To create desired views and screen negative views.
- To create variety and interest within the site.

b) Surface Drainage

- All lots within Silverbrook Estates shall discharge excessive stormwater into the streets or ditches. All Owners are responsible for constructing adequate, effective drainage in connection with any construction on its lot.
- All grading and drainage shall provide for the adequate removal of water from around buildings and structures and from walkways and paths.
- Surface drainage shall not be directed onto adjacent properties, whether public or private.
- Ensure that pedestrian areas are free of ice buildup, which could create hazardous situations.
- Drainage systems, swales, or ditches shall transport water and also serve as site amenities. Incorporate rock, native plantings and other treatments to accomplish this.
- The roadside or roadway drains and ditches have been designed to transport stormwater to the detention ponds at the southwest portion of Silverbrook Estates.
- Provide for non-erosive drainage at the tops and bottoms of slopes.
- At their terminus, swales should either spread the channelized water to make it sheet drain or empty the water into a ditch, stream, or underground drainage system.



c) Grading for Emphasis

- Site grading shall emphasize site topography or add interest to an otherwise flat site. Each Lot Owner is responsible for its own grading to ensure adequate drainage, erosion control and to avoid adversely impacting other Lots.
- Minimize excessive cut and fill.
- Orient buildings along existing contours when possible and as required to promote sustainable practices.
- Use earthen berms, rock forms or stone retaining walls to minimize visual impacts of grade change. Use native stone or rock for the construction of these. The height of retaining walls shall not exceed four (4) feet.
- Maximum slopes of 3:1 are preferred for stability, maintenance and usability.
- Grade the tops of banks to be smoothly convex and the toes smoothly concave.
- Grade the slopes to blend in with the surrounding landscape.
- Buildings can be placed in the landscape and the perimeter graded to lessen the impacts of massive buildings. By doing this, the amount of exposed structures

will be lessened and the building placement will be more sensitively integrated into the landscape.

d) Erosion Control

- Reduce runoff during the construction process and afterwards by using site-grading techniques that effectively limit the size, shape, length, and gradient of slopes and channels, thereby reducing the volume and velocity of runoff.
- Avoid excessive cuts or fills
- Pay close attention to surface and subsurface drainage characteristics.
- Extending the length of the slope reduces gradients. This uses more land but it reduces the amount of erosion and the potential slumping of hillsides. Used singly or in combination, diversion swales, ditches, and dikes can intercept and divert runoff from the face of a slope.

e) Road and Building Placement

- Roads and buildings shall be placed on a site with respect to the natural topography.
- All projects shall maintain and reinforce the natural character of the landforms of Silverbrook Estates.
- Buildings that cut into slopes are encouraged where they can help minimize the perceived mass and scale.
- Step buildings down at hillside edges in order to minimize visual impacts and reduce the apparent height.
- Avoid placing tall buildings at high points on the site or in other highly visible areas.

C. General Architecture and Structure Design

The guidelines identified below apply to both residential and commercial construction in Silverbrook Estates. Additional guidelines follow, to be applied specifically and solely to residential projects, and to commercial projects. Many of these design aspects are interrelated and cannot be treated separately. Integrated design is encouraged, including an understanding of how the interior and exterior spaces relate to each other, to the site, and to neighboring sites.

1. Design Compatibility with Variety

Design compatibility and variety are encouraged in an effort to allow for individual expression and to avoid monotony, while enhancing connectivity and interaction. Each building will contribute to a common design vocabulary that's present throughout the development. Standard methods to accomplish these goals are as follows:



- a) Buildings shall be constructed of similar materials and employ variation in massing.
- b) Building design variations shall demonstrate evolution of design by incremental change, as opposed to abrupt change.
- c) Buildings shall reflect the surrounding agrarian setting and the present time without intruding upon the land.
- d) Buildings shall relate to adjacent units.
- e) Building design shall not be a false representation of a historical style, such as:
 - Spanish Revival
 - French Chateau
 - Italianate or Italian Renaissance



This guideline is not intended to be restrictive, but to be simultaneously liberating and inspirational. The farmland surroundings do not lend themselves to these historical styles; such buildings would stand out as foreign in this new extension of this existing agrarian neighborhood.

2. Site Diagramming

- a) Orient building on a primarily east-west axis when applicable to promote solar gains and cross ventilation benefits.
- b) Site building to preserve and enhance views for neighboring sites.
- c) Arrange deciduous trees to provide shade in the summer and allow light exposure in winter.
- d) Minimize impervious surfaces by substituting open pavers and open decking for concrete or asphalt walkways, patios, and decking.

3. Building Massing and Scale - Bowing to Nature

- a) Structures should be placed on the site so as not to compete with or overcome the beauty of the natural surroundings. Integration is the key feature of the architecture. The building needs to belong to that space and to supplement it (not supplant it).
- b) Components placed directly amongst the



- preserved nature areas shall be composed of natural materials.
- c) The building's masses shall be separated into an integrated complex of components of various shape and sizes. This will ease the transitions from interior to exterior spaces and lessen the building's impact upon the site and natural surroundings.
 - d) A hierarchy of massing should ease the transition to the pedestrian and downplay garages.
 - e) Setbacks and increased articulation of building form are encouraged.
 - f) Design elements such as porches, balconies, and recessed entries (subtractive and additive forms) shall be integrated into the massing as a means of providing human scale while enhancing the sense of entry.
 - g) All four elevations and the roofs of a building are to be considered in developing a design, which engages and responds to the site. Views from US Highway 93 and Church Drive shall be considered in developing the massing of the building.

4. Roof Shapes

- a) Diversity of roof form and slope shall be encouraged.
- b) No more than 25% of a building's roof area shall be comprised of a flat roof, except where concealed with decking, parapets, or other architectural features.

5. Structural Expression

Expression of the structural components of the building or structure is encouraged through the use of the following:

- a) Exposed rafter tails
- b) Open eaves
- c) Exposed detailing



6. Sustainability

- a) The buildings in Silverbrook Estates shall be designed in accordance with accepted minimal sustainability principles as outlined in the Sustainability Checklist below. Organizations such as the U.S. Green Building Council and their LEED (Leadership in Environmental & Energy Design) program should be used as a reference during design. Many design components associated with sustainability contribute to attractive and innovative architecture. Many of these features have been in common practice for years; while some are resurrections of past building practices that have survived the scrutiny of time.
- b) Both commercial and residential building owners and developers are encouraged to explore the availability of financial grants and incentives. Several organizations and government agencies have supported sustainable practices in the past and should be contacted for information about current programs. The following list includes, but is not limited to, some applicable entities that provide financial and technical support:

- Montana Department of Environmental Quality
 - ETC
 - State of Montana
 - Northwestern Energy
- c) Glazing: All glazing shall be of low-e glass.
- d) Ductwork:
- All ductwork shall be sealed and tested for tightness and proper installation.
 - All ductwork sealant shall have a low-VOC content.
- e) Insulation:
- All insulation must be formaldehyde-free.
 - All spray insulation shall be HCFC-free.
 - Exterior walls shall have a minimum R-value of 19.
 - Roofs shall have a minimum R-value of 38.

V. NEIGHBORHOOD COMMERCIAL DESIGN GUIDELINES

The Neighborhood Commercial is the "downtown heart" of Silverbrook Estates. It is focused in the northeast corner of Silverbrook Estates.

Silverbrook Estates will be a high quality, unified environment evoking a unique, agricultural community image. "Contemporary Agrarian Architecture" is the theme guiding this vision of regional history integrated into the modern era. This will be accomplished by using materials and forms present in the surrounding farm buildings while incorporating current design trends. This will make Silverbrook Estates a recognizable and familiar-appearing focal point in the Kalispell area for all residents and visitors.

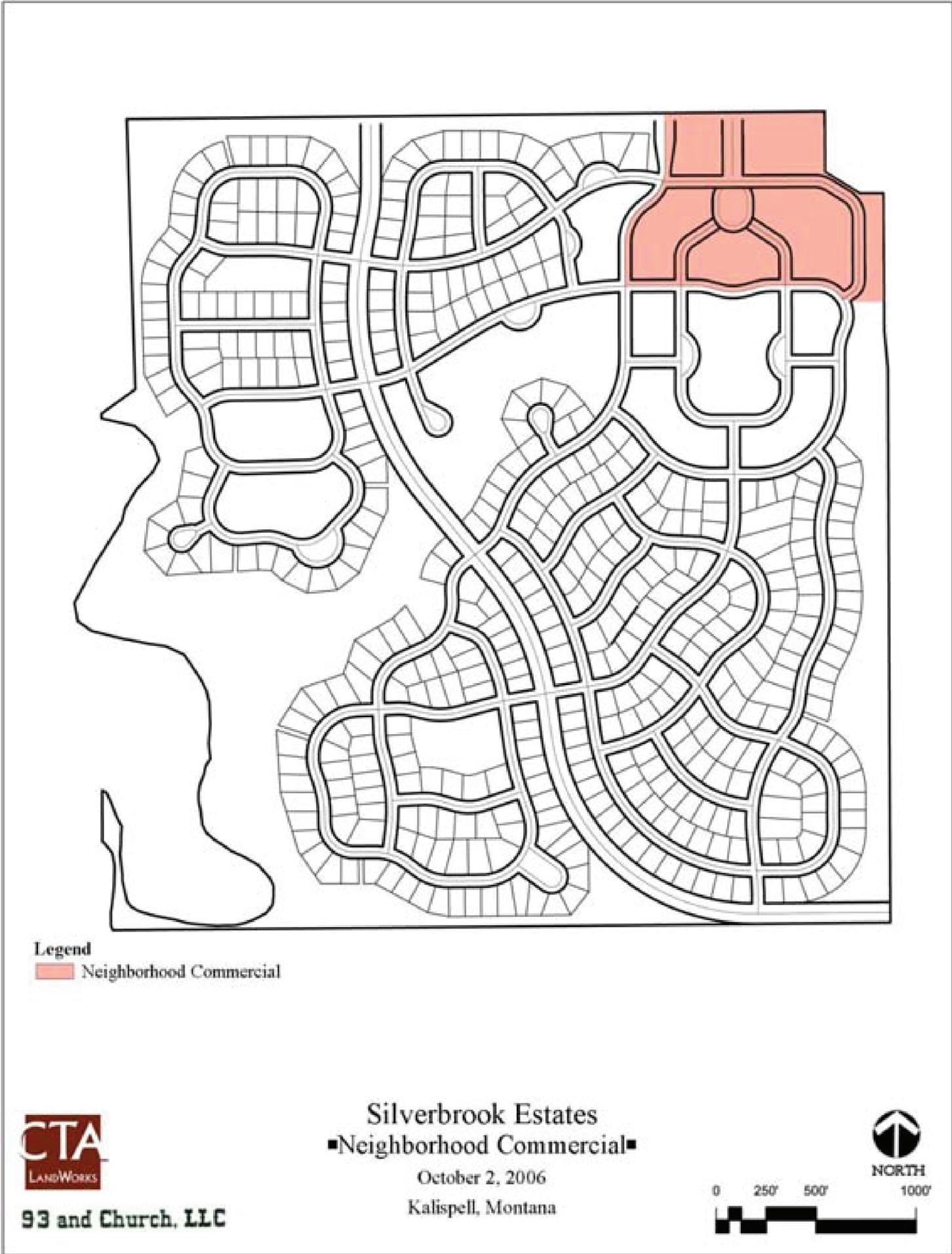
The unique and individual designs of each building will creatively integrate a collection of common architectural features and elements. This will ensure quality and consistency within the Neighborhood Commercial that translates into a rich, identifiable community. The neighborhood commercial district will be a diverse environment with business, entertainment, and retail components that share a common design character worthy of a community core.

The Neighborhood Commercial area, as illustrated on the following page, displays how this area relates to surrounding properties and amenities within Silverbrook Estates.

The Design Guidelines set forth in this subsection will govern the review and approval by the DRC. Any drawings accompanying guidelines are illustrative only and are intended to provide direction and interpretation of the related guideline.

In addition to the guidelines described here, the following documents apply to all developments in the Neighborhood Commercial areas:

- a) City of Kalispell Zoning Ordinance
- b) Declaration of Covenants, Conditions, Restrictions, and Reservations for Silverbrook Estates, as amended



A. Neighborhood Commercial Site Design

2. Setbacks/Building Envelope

- a) Structures shall have the following setbacks:
 - Front Yard: Five (5) feet
 - Side Yard: Ten (10) feet
 - Rear yard: Five (5) feet.
- b) Parking is not permitted within the front yard of any Neighborhood Commercial lot.
- c) These setbacks are intended to create a continuous street-front façade along the streetscape.

3. Outdoor Seating

- a) All benches within Silverbrook Estates commercial area lots shall be installed by the project developer and chosen from pre-established furniture selections, as provided by the DRC. Examples of these benches are provided on within this document.
- b) Project developers are encouraged to provide additional seating near entrances and eating areas.
- c) Installation of outdoor seating shall be coordinated with construction throughout the commercial neighborhood in order to prevent damage to adjacent site furnishings.

4. Signs

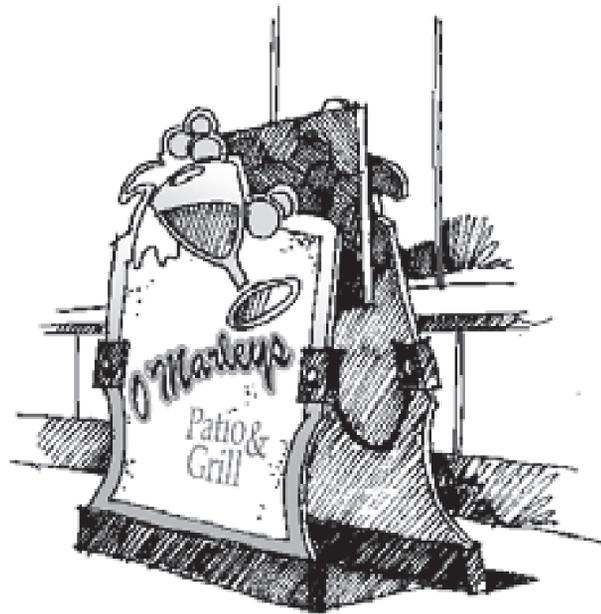
Signs provide a strong visual connection with the community, and provide information about the activities in the development. Signs should engage and complement the design of the building and overall district. Wall-mounted signage integrated into the overall building design is preferred over free standing signage. The signage guidelines allow for signs that reflect the quality of Silverbrook Estates and complement the rural Kalispell farmland surrounding it. Signs on the commercial properties shall be used to identify businesses in a tasteful manner, as well as to assist traffic (pedestrian and vehicular) through the commercial district. The guidelines stated below are in addition to those provided in the General Design Guidelines.

- a) Applicants shall submit a signage plan for review by the DRC, as described in the General Design Guidelines.
- b) The Kalispell Zoning Ordinance sign regulations shall be supplanted in its entirety by the Signage Guidelines provided below (however, any signage must also comply with the Kalispell Zoning Ordinance sign regulations).
- c) Materials and Design:
 - See General Design Guidelines
 - Signage shall be integrated into the building design and not be the primary focus of the facade.

d) Sign illumination: Reference lighting guidelines.

e) The following signs are permitted:

- Freestanding signs, with the following provisions:
 - Freestanding signs can only identify the building or business.
 - Only one sign can be provided per 30 linear feet of storefront.
 - When a storefront exceeds 500 feet, two signs are permitted.
 - Corner lot frontage buildings may have one sign per frontage, provided that the setback of each sign is equal to the building setback.
 - Signs can be two-sided or single-faced.
 - The sign shall have no more than 15 square feet per side (excluding base or support).
 - The top of the sign, including base or support, shall be no more than 42 inches above grade.
 - Signs shall be constructed of materials similar to those on the building exterior (see exception for sandwich board signs).
 - For buildings with multiple tenants, one freestanding sign may be used for all the tenants, provided that each message is legible.
 - Signs shall not obscure the line-of-sight for vehicles or pedestrians.
 - Signs shall not be erected or extend over any public right-of-way.
 - Sandwich board signs are allowed if they comply with the above provisions (although of light-weight, portable materials) and are displayed only during the store's open hours.
 - Signs cannot be placed in easements of any kind.
- Window signs, with the following provisions:
 - Permanent window signs may be mounted or hung on the inside face of the storefront.
 - Window signs shall cover no more than 20% of the window surface.



- Wall signs, with the following provisions:

- Exterior-mounted wall signs shall not extend more than four inches beyond the face of the building.
- Wall signs shall not be more than 32 square feet in area.
- Wall signs may not project above the top of the wall or parapet; they may be incorporated into the wall or parapet design.

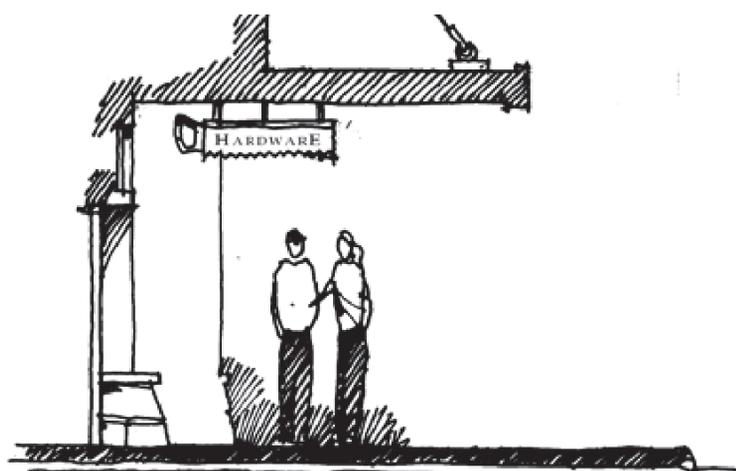


- Projecting signs, with the following provisions:

- Projecting signs shall be mounted at a right angle to the building face.
- Signs shall project at least four inches from the building wall and extend no more than three (3) feet from the wall.
- The bottom of a projecting sign shall be at least eight (8) feet above the sidewalk/grade.
- Projecting signs shall be no more than 15 square feet in area.
- Only one projecting sign shall be allowed for each business in a building.
- Hanging signs are allowed within the above parameters; they shall be securely fastened at two sides/ends.

- Canopy signs, with the following provisions:

- A canopy sign shall not project above or beyond the canopy to which it is mounted.
- The bottom of the canopy sign shall be at least eight (8) feet above the sidewalk/grade.



- f) The following signs are required for all commercial properties within Silverbrook Estates:

- Address signs, with the following provisions:
 - Address signs shall have four-inch tall numbers in a legible typeface, designed to be visible at night.

- Address signs shall be no larger than two square feet.
- Address signs shall include the street number, and may include the street name and store name as well.
- All storefronts shall have an address identification sign incorporated into, or permanently fastened to, the building wall facing the street.
- Address information may be incorporated into the overall building signage.

g) General sign provisions:

- Each storefront elevation is allowed no more than two sign types designated above (exclusive of the required address sign).
- Each side elevation visible from Highway 93 and Church Drive is allowed one sign type designated above.
- If illumination is provided for an exterior wall-mounted sign, it shall be mounted above the sign, directed onto the sign surface only, and be in accordance with the lighting requirements of these Design Guidelines.



5. Transportation and Circulation

- a) All parking lots or parking areas shall be designed and installed according to the City of Kalispell Zoning Ordinance.
- b) These requirements are available on-line or at the Kalispell Planning Department.
- c) The ground plane of all buildings shall be developed to encourage pedestrian activity and interaction.
- d) Provide clear pathways between and around buildings, uninterrupted by parking areas and roads, to encourage pedestrian activity.
- e) Provide obvious entries to community trail networks with signage and clear connections to all trails.

6. Grading and Drainage

- a) All lots within Silverbrook shall discharge excessive stormwater into the streets or roadways. Each Lot Owner is responsible for its own grading to ensure adequate drainage, erosion control, and to avoid adversely impacting other Lots.
- b) Surface drainage shall not be directed onto adjacent properties.
- c) The drains and ditches have been designed to transport stormwater to the detention ponds at the southwest portion of Silverbrook Estates.

7. Utilities

- a) All utilities shall be located underground or behind screened areas.
- b) Each lot owner shall assume the burden and expense of supplying electricity, telephone, cable facilities, water service, sewers, or other utilities for the lot's use.

- c) The Master Developer will install, and the POA will maintain, utility service to the Lot or to points in close proximity to the Lots. The Lot Owner shall pay the costs associated with connecting utilities.
- d) The project developer will install the water and sewer lines up to the building.

8. Service Areas

- a) Loading docks and service entrances shall be located within rear or side yards only.
- b) Loading docks and service entrances should be screened from adjacent residential land uses.

9. Outdoor Storage

- a) Storage shall be contained within buildings.
- b) Outdoor storage, whether uncovered, in sheds or other structures, is prohibited.
- c) Loading docks and service entrances should be screened from adjacent residential land uses.

B. Neighborhood Commercial Landscape Design

1. Parking Lot Landscaping

The parking lots for all Neighborhood Commercial areas shall be landscaped according to Chapter IV of this document.

2. Appropriate Plantings

- a) Building lots within the Neighborhood Commercial will not be required to install landscaping as specified in Chapter IV of this document. However appropriately placed foundation plantings are strongly encouraged.
- b) All Commercial buildings shall have seasonal plantings, pots or hanging baskets provided near storefronts
- c) Choose hearty and drought tolerant annuals or perennials for seasonal plantings.
- d) These seasonal plantings will bring color and variety to the streetscape and create pleasant pedestrian experiences.

C. Neighborhood Commercial Building Design

The guidelines which follow are in addition to the *General Building Guidelines*. The guidelines are intended to facilitate designs which adapt well to the overall vision of Silverbrook Estates, while encouraging designs which uniquely reflect the user and designer, and promote the marketing goals of the commercial enterprise.

The Silverbrook Estates commercial area is to convey the appearance and ambience of a village main street that reflects quality and permanence, and promotes slow-paced, pedestrian-friendly activity. The image to the right illustrates an acceptable commercial development. The appearance of a modern, hard-edged strip mall shall be avoided.



Commercial building construction documents shall be prepared and certified by a professionally trained Architect licensed in the State of Montana. Structural drawings shall be prepared and certified by a Structural Engineer licensed in the State of Montana. All plans shall contain the name and contact information of the Architect and Structural Engineer when applicable.

3. **Maximum Building Height**

The maximum allowable building height is 35 feet as measured from the lowest adjacent grade to the highest point of the roof or parapet wall.

4. **Massing**

In addition to the *General Building Guidelines*, the following massing guidelines apply:

- a) Commercial storefronts shall be scaled to the pedestrian, with a variety of ways to engage activity on the street and sidewalk, such as:
 - Recessed bays



- Protruding or recessed entries as shown in above image.

- Awnings, entry roofing, and trellises. See image to the right of acceptable awnings.
- Projecting elements, integrated into the building design, such as dormers and cornices which provide visual interest.
- Building footprints shall be scaled down to relate to the buildings surrounding the commercial district. The goal is to create the appearance of a mix of small specialty stores.
- Variation in roof form among the adjacent buildings is encouraged. This adds visual interest to the streetscape and individuality to each commercial enterprise.

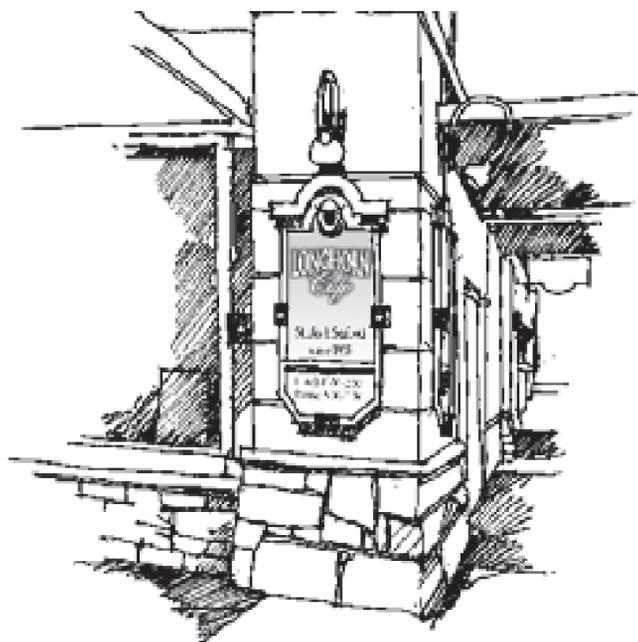


5. Windows, Entry Doors, & Storefronts

- a) Storefronts should be inviting to the pedestrian by providing views to the interior of the store and displays at the ground floor. This is the most effective means of advertising. Variety in detail, shape, color, and material fosters interaction between the passersby and the shop clerks. Individualized facades should contribute to the harmonized whole of the engaging street front.

- b) The following guidelines apply:

- Windows and storefronts shall incorporate a wide expanse of glazing to provide full views into the commercial establishment.
- Corner storefronts shall extend at least three feet onto the side elevation, as seen in the image to the right.
- Storefronts should be inviting and engaging.
- The side and rear entrances shall be secondary to the front entrance.
- There shall be signage and lighting at ground level.
- Residential, small-scale windows shall not be permitted.
- Unarticulated, flat, and undistinguished walls shall not be permitted.



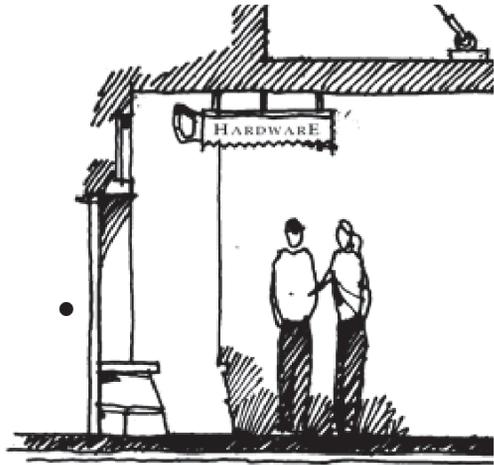
- c) Doors:

- Doors shall have a minimum of 50% glazing.
- Transom, sidelites, and adjacent windows are encouraged.
- Double or multiple doors shall be encouraged to allow for easier access.
- Doors shall not have reflective, obscured, or tinted (other than bronze- or smoke-tinted) glazing.

- d) Covered Areas:

- Entries shall be covered or recessed.

- Covered pedestrian areas shall be consistent with, and appropriately sized for, the architectural expression of the building.
- The following shall be permitted:
 - Flat metal canopies as shown in the image below.
 - Fixed or retractable awnings
 - Awnings shall be of durable, commercial-grade materials.
 - Awning shall be an integral component of the building.



- e) The following shall not be permitted:
- Vinyl or synthetic awnings.
 - Backlit awnings.
 - Sloped, impermeable canopies or awnings that could direct snow run-off onto the sidewalk or street.

6. Exterior Materials

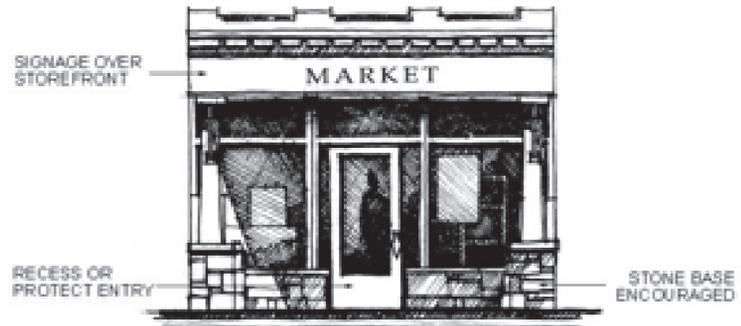
The exterior materials of a building represent more than a skin applied to a shell – they represent the building construction method, the nature of the material itself, and contribute to the overall design and energy efficiency of the building. Exterior materials should be used in a manner that is in accord with their natural properties; while concealed improvements in energy efficiency are encouraged. Integrity of each material should be emphasized in its application, and convey the true construction process. Materials applied as an “appliqué” shall not be permitted.

- a) The following guidelines apply:
- Vertical design features such as columns or piers, or a changes in plane, shall be used to distinguish between different businesses and to avoid large plain masses.
 - Buildings shall be constructed of durable materials.
 - Energy efficiency and sustainable practices shall be considered during the design process.
 - The side (where visible) and rear facades should continue the architectural components and expression of the front facade.
 - Synthetic materials that attempt to simulate the appearance of natural materials shall not be permitted unless detailed to emulate the natural material.
 - Where there are changes in material, they shall occur at changes in plane. This practice contributes to a more substantial and integral appearance.
 - Masonry shall only be installed in bond patterns that imply non-veneer, solid masonry construction.
 - Colors of primary components shall be muted and of low gloss. Primary components include wall cladding, roofing, and exposed structure.
 - Colors of accent components can be more dynamic and of higher gloss. Accent components include trim, windows, and detailing.

b) Walls: The materials noted below apply to cladding and trim components:

- The following wall surface materials shall be permitted:

- Corrugated metal or sheet metal.
- Poured concrete.
- Stone and cast stone:
 - ~ Rubble or square-cut ashlar is acceptable.
 - ~ Local stone types shall be given preference.
 - ~ Maximum unit face size shall be two feet by two feet, with maximum surface projection (within unit) of one inch.
 - ~ Image to the right illustrates acceptable storefront treatment.
- Split-face and ground-face concrete block.
- Brick of standard modular units.
- Cementitious panels.
- Stucco.
- Steel used as an honest expression of support, such as for support braces and for trellises.



- The following wall surface materials shall not be permitted:

- Vinyl, steel, and aluminum siding.
- EIFS (Exterior Insulation and Finish Systems like Dryvit Systems, Inc.).
- T-111 wood siding.
- Jumbo brick (brick that is larger than standard modular brick, such as brick that is four inches high, four to eight inches thick, and twelve inches long)
- Utilitarian, unfinished concrete block.

c) Roofs: Roof shapes and materials have a primary visual impact on the appearance of a building. Roof design should be treated as an integral component (essentially the fifth elevation) of a building. Overbearing, uninterrupted rooflines shall be avoided. Many of the rooftops at Silverbrook Estates are visible from the intersection of Highway 93 and Church Drive. This should be factored into the rooftop design. In addition, roof design should account for snow load, ice buildup, and run-off particularly at the pedestrian interfaces.

The following roofing materials shall be permitted:

- Standing seam metal roofing.
- Flat seam metal roofing.
- Slate roofing.
- Flat rubber roofing can be used if it is concealed by a parapet.
- Photovoltaic integrated roofing systems.

The following roofing materials shall not be permitted:

- Exposed fastener metal roofs.
- Asphalt shingles.
- Metal shingles.
- Clay tile.

VI. SINGLE-FAMILY RESIDENTIAL DESIGN GUIDELINES

The Single-Family Residential areas within Silverbrook Estates are intended to be a unified community of homes expressing individuality. The architectural character of these homes should reflect the western agricultural vernacular indicative of the Montana landscape.

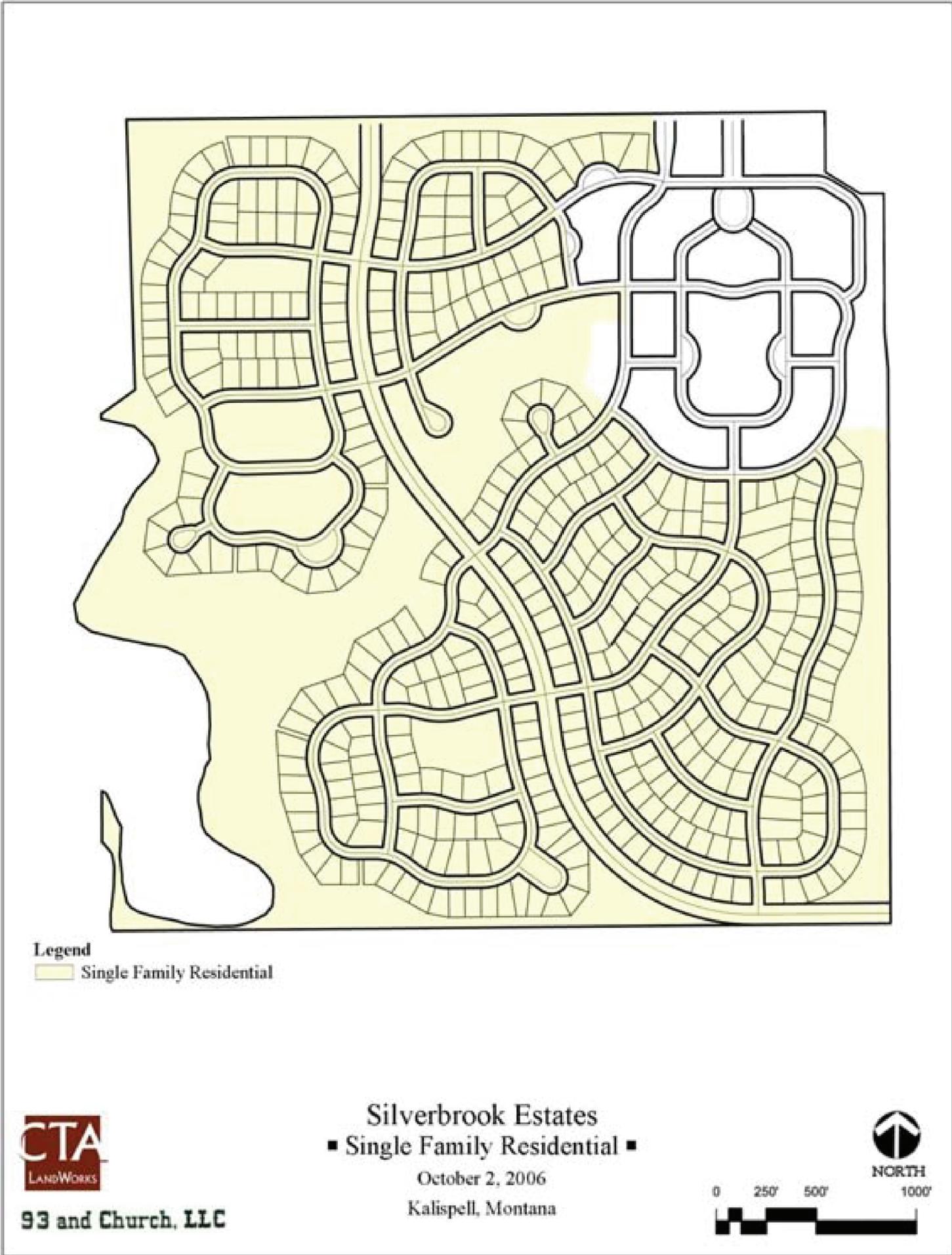
The intent with the Single-Family Residential areas is also to provide a diverse housing market for local and second homebuyer market. These Single-Family Residential areas are located within walking distance of commercial amenities and plentiful open space.

The following page illustrates the residential areas within Silverbrook Estates where single-family residences may be built. The shaded area shows a general residential area that will allow for future planning of single-family residential areas to meet future trends in this market of real estate.

The Design Guidelines in this subsection will govern the review and approval by the DRC. Any drawings accompanying guidelines are illustrative only, and are intended to provide direction and interpretation of the related guideline.

In addition to the guidelines described here, the following documents apply to all developments in the Single-Family Residential areas:

- a) City of Kalispell Zoning Ordinance
- b) Declaration of Covenants, Conditions, Restrictions and Reservations, as amended



Single-Family Residential Site Design

2. Building Setbacks/Building Envelope

- a) The setbacks for all single-family residential developments shall be as follows:
 - Front Yard: 25 feet
 - Side Yard: Ten (10) feet
 - Side Corner yard: 25 feet
 - Rear Yard: 20 feet
- b) Setbacks shall be measured from the property line to the furthest projecting part of the structure.
- c) Hot tubs and other areas of active use and noise may be located outside of the above side and rear yard setbacks, as long as adequate screening is provided, unless it is along the Stillwater River hillside and its tributary.
- d) All buildings or structures shall be placed within the required setbacks as outlined above.
- e) Equipment and RV's are not permitted to be parked on roads, nor shall any equipment be parked such that it is visible from the streets or adjacent lots for a period exceeding seven (7) days in any 30-day period. Storage or location of such equipment and vehicles, in excess of the requirements of this section, shall occur in an enclosed garage or other screened area with such garage or screen having been pre-approved in writing by the DRC.
- f) The principal structure on the site shall be the dominant element. All accessory structures shall be subordinate in size, features and form to the principal structure.
- g) Building massing and scale should be responsive to the site, including views, visibility of site and existing vegetation.
- h) All lots located adjacent to the Stillwater River shall submit a site-specific geotechnical report to the DRC during the final review application process.
- i) Dog kennels must be screened from view of adjacent lots.
- j) Buildings should be sited and landscaped so as to minimize the impact on neighboring lots, especially visual impacts.
- k) The "General Geotechnical Report for the Stillwater River Development" may be acquired from the DRC.
- l) Minimum special setbacks: A minimum setback of 100 feet is required for all buildings adjacent to the declared wetlands and 50 feet to all other declared waterways.
- m) The DRC will enforce additional setbacks, where applicable, including but not limited to the following:
 - Tree masses
 - Native vegetation transition zones
 - Topography
 - Drainage
 - View corridors
 - Roads and paths
 - Utility easements

3. Signs

Signs provide a strong visual connection with the community, and provide information about the development. Signs should complement the design of the neighborhood. The signage guidelines allow for signs that reflect the quality of Silverbrook Estates and that complement the rural Kalispell farmland surrounding it. Signs in the residential areas are intended to be limited in extent and size, so as not to detract from the overall agrarian ambience. The Master Developer shall provide Subdivision Entry and Street Identification signs, to be maintained by the POA.

There shall be no official review of designs for signs to be located within single-family lots. The DRC reserves the right to enter onto a property or lot to inspect for compliance with the Signage Guidelines. The POA shall monitor sign usage, however, and require removal of non-complying signs.

a) Since the signs associated with single-family residences are limited in scope and application, the material and design options are limited to the following:

- Signs shall be constructed of high quality, durable materials such as stone, metal, and wood.
- Painted surfaces shall be minimal and well maintained for the duration of the sign.
- Colors shall be muted and complement the building design. Bright colors may be used only for accent features.
- Sign illumination: Reference lighting guidelines.

b) Allowable Signs: Only the signs identified below are allowable on individual lots. These provisions are exclusive of street identification signs as described in the General Design Guidelines.

c) Address signs are required for all residential property within Silverbrook Estates, and shall comply with the following:

- Address signs shall have four-inch tall numbers in a legible typeface, designed to be visible at night.
- Such signs shall be no larger than two square feet in area, and shall not be mounted on a base.



- Address signs shall include the street number, and may include the street name as well.
- An address identification sign may be incorporated into the street façade of the residence.
- Such signs may not incorporate identification of a home business.
- Campaign and election signs, with the following provisions:
 - Campaign and election signs shall be located on private property.
 - Such signs shall not be larger than six square feet.
 - Such signs shall not be installed prior to 15 calendar days before an election.
 - Such signs shall be removed within 15 calendar days of an election.
- Portable yard signs, with the following provisions:
 - Portable yard signs can be used to show the property is for sale and for events such as open houses and garage sales.
 - “For Rent” signs are not allowed.
 - Portable yard signs can be no more than six square feet in area.
 - Yard signs, except “For Sale” signs, may not be in place for more than three calendar days.
 - The yard sign must be located within the property boundary where the event is occurring.

4. Driveways and Parking

- a) All required parking shall be within the lot boundary, shall not encroach on public or private right of ways, and shall comply with city parking ordinances.
- b) The length of a driveway is 25 feet minimum between the building face and the building side of the sidewalk.
- c) Access drives, driveways, and parking surfaces may be constructed of modular pavers, asphalt or concrete.

5. Grading and Drainage

- a) All lots within Silverbrook Estates shall discharge excessive stormwater into the streets. Each Lot Owner is responsible for its own grading to ensure adequate draining, erosion control and to avoid adversely impacting other Lots.
- b) Surface drainage shall not be directed onto adjacent properties.
- c) The drains and grassy swales have been designed to transport stormwater to the detention ponds at Silverbrook Estates.

6. Utilities

- a) All utilities shall be located underground or behind screened areas.
- b) All electrical conduits for right-of-way landscaping, lighting and signage shall be provided and installed by the project developer.
- c) Each Lot Owner shall assume the burden and expense of supplying electricity, telephone, cable facilities, water service, sewers, or other utilities for the lot’s use.

- d) The Master Developer or its designated representative will install, and POA will maintain, utility services to the Lots or to points in close proximity to the Lots.
- e) The lot owner shall pay all costs of connecting utilities.

7. Fences

- a) Fencing within the single-family areas shall be designed and constructed as required in Chapter IV of this document, “General Design Guidelines.”
- b) It is understood that security and privacy are a primary and necessary component of home ownership. The guidelines are intended to support the need for privacy without negatively impacting the overall sense of shared community and neighborhood companionship.

8. Trash Containers

- a) All single-family residences shall provide individual trash containers that meet local collection standards.
- b) Portable or individual trash containers should be stored in a shed or in the garage.

9. Swimming Pools, Hot Tubs and Tennis Courts

- a) Tennis courts are not permitted in single-family areas.
- b) Swimming pools are permitted in single-family areas with the consent of the DRC. All swimming pools must be fully enclosed by adequate fencing approved by the DRC. Above ground pools are not allowed.
- c) Single-family lots may have one hot tub per lot, located at the rear of the building.
- d) Hot tubs shall be constructed according to industry or manufacturer standards as well as International Building Code.
- e) Hot tubs may be in-ground or above ground. If hot tubs are above ground, all necessary mechanical equipment and support structures shall be screened from view of adjacent properties.

10. Recreational Equipment

- a) Recreational equipment shall be setback from the rear and side property lines at least ten (10) feet.
- b) Any lots with play or recreational equipment in the rear yard shall screen this use from adjacent properties by means of landscape plantings that are at least six (6) feet in height.
- c) Individual homeowners within the single-family development may install or construct freestanding or anchored play equipment in the rear yards on their property.

11. Firewood

- a) Residences in single-family areas shall store firewood on the individual lots.

- b) Firewood storage areas shall be constructed or situated taking into consideration local governing fire code or restrictions.
- c) Brightly colored tarps shall not be used to cover firewood.
- d) The Kalispell Fire Department may be contacted regarding local fire codes or restrictions.
- e) All firewood storage areas shall be concealed from adjacent properties or land uses by means of an enclosure or landscape plantings.

12. Dog Kennels

- a) Dog kennels shall not be located in the front yard of any residential lot.
- b) All dog kennels or dog runs are subject to the review and approval of DRC.
- c) Dog kennels should be constructed of durable materials, such as heavy gage steel with wire grid.
- d) Chainlink dog kennels shall not be permitted.
- e) Kennels should be placed in an inconspicuous area away from the direct view of adjacent lots and primary roads.
- f) Screening is required for all dog kennels.

B. Single-Family Residential Landscape Design

1. Lot Landscaping

- a) All single-family lots shall install and maintain at least 20% of the lot as landscaped (either native or ornamental) area.
- b) All single-family lots shall have at least two large deciduous trees planted on the property.
- c) All single-family lots shall have at least two large coniferous trees planted on the property.
- d) (Definitions of plant material sizes are located in Chapter IV, section on “Plant Sizes.”)
- e) Use foundation plantings to conceal foundations, mechanical equipment, play equipment, firewood storage or other undesirable views onto the property.
- f) Respect views from neighboring lots.
- g) Be aware that fruit-bearing trees may attract wildlife in the fall and that these animals may damage these trees. Fruit-bearing trees should not be planted near walkways or trail corridors due to dropping debris.
- h) Street tree spacing may be adjusted by the POA at the time of installation to respond to driveway locations. Individual lot owners may plant trees after construction is finished.
- i) Fences and privacy berms are strongly discouraged. Vegetative hedges are preferred.
- j) If used, berms should be contoured to look as natural as possible and they should be planted.

2. Lawn Areas

- a) Lawn areas shall be mowed to maintain attractive leaf blade lengths throughout the growing season.
- b) Lawns should be watered adequately to prevent sun scorching or dying off of large expanses of grass.
- c) Irrigation of lawns should be adjusted to maintain a healthy lawn and conserve water.

3. Irrigation

- a) All residential lots within Silverbrook Estates shall be irrigated with an automatic irrigation system.
- b) Landscape designs shall take into consideration conservation of water during irrigation and design systems to use water as efficiently as possible.

4. Maintenance of Landscaping

- a) Landscaped areas shall be maintained in a good condition throughout the year.
- b) If fencing or netting is required in the fall to protect against animal damage, it should be installed on October 1st and removed on May 1st of every year.

5. Foundation Plantings

- a) Foundation plantings are required in order to conceal foundations, mechanical equipment, play equipment, firewood storage or other undesirable views onto the property.

C. Single-Family Residential Building Design

The guidelines which follow are in addition to the General Building Guidelines discussed above. The guidelines are intended to facilitate design which adapts well to the overall vision of Silverbrook Estates while encouraging designs which uniquely reflect the user and designer.

1. Minimum Floor Areas

- a) Each single-family residence in Silverbrook Estates shall comply with the following:
 - Minimum Floor Area. The ground floor area of any single family residence located east of Silverbrook Drive shall not be less than 1200 square feet of living space. The ground floor area of any single family residence located west of Silverbrook Drive shall not be less than 2000 square feet of living space. These square footages are exclusive of exterior parking spaces and decks.

- Maximum Lot Coverage: The maximum allowable coverage of any Lot by any built surface (driveway, garage, primary residence, auxiliary structure, decking, etc.) shall be no greater than 35% of the Lot including setbacks.
- Maximum Building Height:
 - The maximum allowable building height is 35 feet, measured from the lowest adjacent grade level to the highest point of the roof or parapet wall.
 - Where the building is complex and has multiple heights, the grade level shall be determined to be the average of the highest and lowest finished grade (the final elevation of the surface material, such as soil or paving, adjacent to the building).
 - Chimneys and other roof penetrations may exceed the given height limits by no more than four feet.

2. Pre-Fabricated Architectural Components

Manufactured homes, as defined by the *Kalispell Zoning Ordinance* are not permitted at Silverbrook Estates. Pre-fabricated architectural components are permitted, provided that they are of high-quality materials, detailing, and finishes. They must comply with the *Kalispell Zoning Ordinance* and all the Design Guidelines stated herein.

3. Porches/Decks/Terraces

Front porches are encouraged, as they stimulate neighborhood interaction while providing a safe transition zone between the private residence and the outside world. Porches also contribute to variation in the building mass and provide a welcoming entry to the home.

- a) Front porches shall be sufficiently sized to accommodate seating. In most cases, porches should be at least seven feet in depth to allow adequate room for furniture.
- b) Front porches shall have full roof coverage, to provide protection from the elements and for more direct incorporation / association with the house.
- c) Front porches shall have railings.
- d) Front porches should be open (i.e. not enclosed with wood, glass, or other materials).
- e) Porches may be screened if the support is visually minimized and the screening is placed behind the columns or railings.

Rear porches, decks, and terraces are permitted. They can provide a natural transition from the home to the site. These are typically considered to belong more to



the private zone of the dwelling and are often less formal and more utilitarian than front porches.

- a) Rear decks are not required to have roof coverage.
- b) Rear decks and porches shall have railings as required by code.

4. **Balconies**

Balconies create an extension of the living space and a comfortable connection to the outdoors. Balconies shall have the following attributes:



- a) Balconies shall be integrated into the overall building design.
- b) Balconies shall have a solid floor material and internal drain or direct run-off away from the building. If the latter, balcony shall not be located over an occupied area.
- c) Balconies shall have railings as required by code.
- d) Balconies shall be open (i.e. no solid enclosures shall be permitted).

5. **Entries**

A home's entry is a major component of the overall design and conveys much about the owner. Careful, integrated design is essential in the expression of the individual within this complex community. See *Openings – Windows and Doors* for further elaboration on entry doors.

- a) Entries shall be treated as a transition from exterior to interior space.
- b) Entries shall be celebrated as a design element through the incorporation of overhead elements, porches, and lighting.



6. Exterior Materials

The exterior materials of a building represent more than a skin applied to a shell. They represent the building construction method, the nature of the material itself, and contribute to the overall design and energy efficiency of the building. These exposed materials should be used in a manner that is in accord with their natural properties; while concealed improvements in energy efficiency are encouraged. Integrity of each material should be emphasized in its application, and convey the true construction process; materials applied as an “appliqué” shall be avoided.

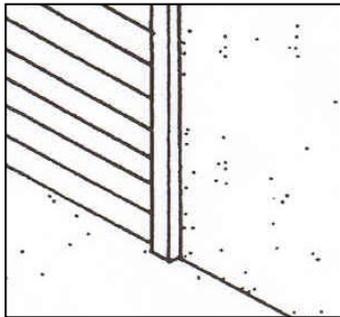


a) The following general practices apply:

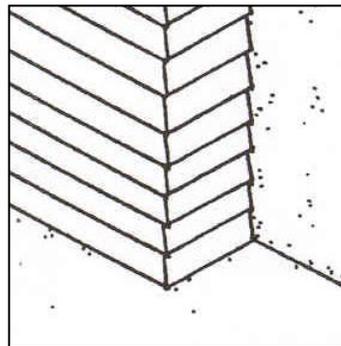
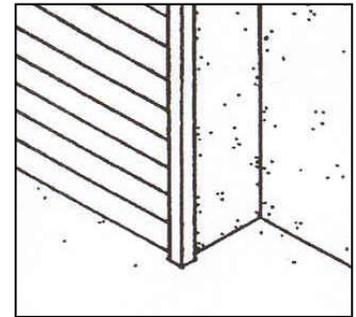
- Energy efficiency and sustainable practices shall be considered during the design process.
- Synthetic materials that attempt to simulate the appearance of natural materials shall not be permitted unless detailed to emulate the natural material.
- Where there are changes in

material, they shall occur at changes in plane or at inside corners. This practice contributes to a more substantial and integral appearance. The detail shown in the image to the left is not permitted.

- Masonry shall only be installed in bond patterns that imply non-veneer, solid masonry construction.



The construction details shown in these two images are not permitted.



This image depicting a change in material at the inside corner, at a change in plane, is permitted.

- Contrast in material textures shall be integrated into the design.
- Colors of primary components shall be muted and of low gloss.
- Colors of accent components can be more dynamic and of higher gloss.

b) Walls - The materials noted below apply to cladding and trim components:

- The following wall surface materials shall be permitted:
 - Poured concrete.
 - Stone and cast stone.
 - Split-face and ground-face concrete block.
 - Brick of standard modular units.
 - Wood, including siding, panels, shingles, and clapboards.
 - Cementitious siding.
 - Stucco.
 - Steel used as an honest expression of support, such as for support braces and for trellises.
- The following wall surface materials **shall not** be permitted:
 - Vinyl, steel, and aluminum siding.
 - EIFS (Exterior Insulation and Finish Systems like Dryvit Systems, Inc.).
 - T-111 wood siding. – shown at right
 - Jumbo brick (brick that is larger than standard modular brick, such as brick that is four inches high, four to eight inches thick, and twelve inches long)
 - Utilitarian, unfinished concrete block.



c) Chimneys: Exposed chimneys shall be clad with brick, stone, stucco, or concrete.

d) Roofs:

Roof shapes and materials have a primary visual impact on the appearance of a building. Their design should be treated as an integral component (essentially the fifth elevation) of a building. Many of the rooftops at Silverbrook Estates are visible from the intersection of Highway 93 and Church Drive. This should be factored into the rooftop design.

- The following design parameters shall be followed:
 - A variety of roof forms, and interaction between (such as cross-gable roofs and dormers) them, is encouraged as a means of breaking up the roof expanse and relating to the building forms below.
 - Roofs should be pitched and overhang the outside wall at least one foot (two feet is preferable).
 - Extended rafter tails, brackets, and exposed supports.



- The following are the only allowable roof shapes:
 - Flat Roof (if concealed by a parapet, railing, or decking material)
 - Gable Roof
 - Shed Roof
 - Hipped Roof



- The following roofing materials shall be permitted:
 - Standing seam metal roofing.
 - Flat seam metal roofing.
 - Architectural asphalt shingles.
 - Wood shingles and shakes (and concrete substitutes).
 - Wood batten roofing.
 - Slate roofing.
 - Flat rubber roofing can be used if it is concealed by a parapet, railing, or decking material.
 - Photovoltaic integrated roofing systems.

- The following roofing materials shall not be permitted
 - Exposed fastener metal roofs.
 - Plain asphalt shingles.
 - Metal shingles.
 - Clay tile.
 - Flat rubber roofing where covering more than 25% of the roof area.

- Roof Accessories:

The appearance of a well-designed home with an interesting roof can be compromised by roof accessories. When considered as part of the design process, roof accessories can complement the roof design.

- The following materials shall be permitted:
 - ~ Flat, sloped skylights.
 - ~ Low-profile light domes.
 - ~ Vents that are incorporated into the ridges and hips, or are an integral component of the roof tile.

- The following materials shall not be permitted:
 - ~ Mushroom style vents.
 - ~ Bubble-type skylights on exposed surfaces.
 - ~ Traditional PV modules that are mounted above the roof on racks.
 - ~ Mechanical equipment mounted above the roof.

e) Openings – Windows and Doors:
Windows and doors are essential components of a home. They fulfill necessary functional requirements such as natural illumination and ventilation, entry, and connection between building interior and exterior. They also form an important role in energy consumption and efficiency, particularly in this environment. In addition, the detailing and window treatment relate directly to the overall aesthetics of the home. Placement, material, and size shall be carefully considered throughout the design process.



- The following general guidelines apply:
 - Windows shall be sized and configured to provide adequate natural illumination in the building.
 - The scale and locations of openings shall be consistent with the overall façade and building design.
 - The size, location, and wall placement of openings shall be in accord with the perceived structure of the building, i.e. windows and doors will be recessed from, rather than flush with, the façade.



- The following materials shall be permitted:

- Wood windows and doors.
- Aluminum-clad windows.
- Steel windows and steel French (glazed) doors.
- Windows and doors with true divided lites.
- Operable windows.
- Vinyl and vinyl-clad windows and doors.
- Doors or windows with smoke or bronze tinted glass.
- Glass block that is detailed like the masonry component it is and appears to be properly supported.



- The following materials shall not be permitted:

- Glass block that does not reflect it as a masonry construction.
- Sliding glass doors at main front entry.
- Doors or windows with reflective glass or glass tinted other than those tints permitted above.

7. Garages and Accessory Buildings

The placement and design of garages and accessory buildings have a profound impact on the image of a home. To support the pedestrian-friendly atmosphere of Silverbrook Estates, detached garages are preferred. Side-entry driveways are permitted where viable.

It is important that the home read as the primary component of each site; that the home not be overpowered by the presence of the garage or accessory building. The garage is intended to be a support structure to the primary home – as it was historically when first introduced. Even when attached to the house, the garage shall be read as a secondary structure. This will require integration of the garage design during the early design of the house and site.

- a) The following general guidelines apply to both garages and accessory buildings:
 - Each principal residential structure shall have an attached or detached garage.
 - No detached garages or accessory buildings are allowed on lots where the back of the lot borders Silverbrook Drive or Church Drive.
 - Garage and accessory building design shall be consistent with the house design in material, general massing, roofing, and color.
 - Garage and accessory buildings shall be enclosed and roofed. They shall have three solid walls, and openings as required in the fourth wall.

- Garage doors should not be the primary visual focus on the front elevation of any building.
- “Snout-nosed” garages, as depicted in the image, are discouraged.
- Detached garages shall be placed away from the road side of the house.
- Creative use of sloped sites incorporating lower level garages is encouraged.
- Garages shall **not** be sized for more than three cars.



b) The following guidelines apply to doors in garages and accessory buildings:

- Garage doors:
 - The use of individual bays no wider than nine feet is encouraged.
 - The use of insulated doors and those that comply with sustainability guidelines is encouraged.
 - The use of wood or painted metal doors is encouraged.
 - Doors should appear to be recessed behind the wall, rather than flush with the exterior wall.
 - The design of the door should be compatible with those of the house.
- Entry doors: See guidelines for *Openings – Windows and Doors*.



VII. R-4 RESIDENTIAL DESIGN GUIDELINES

The R-4 Residential areas within Silverbrook Estates are intended to provide a diverse housing opportunity for the local and second-homebuyer market. Architecturally, the design intent should reflect a “contemporary agrarian” concept that reflects the natural materials and western vernacular set forth within the residential design guidelines, of this document. These R-4 Residential areas are located within walking distance of commercial amenities and plentiful open space.

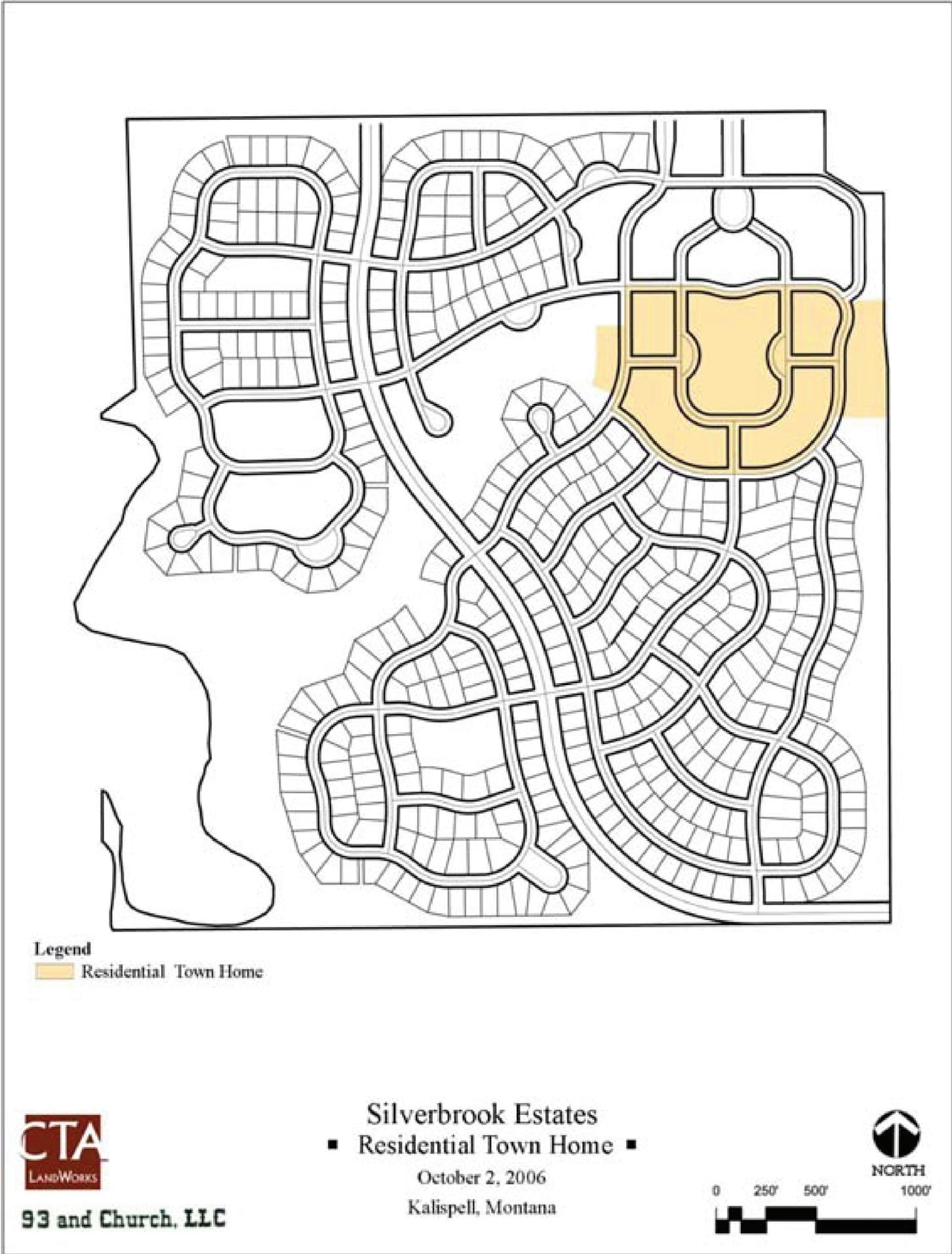
The graphic on the following page illustrates the R-4 Residential areas within Silverbrook Estates.

The Design Guidelines set forth in this section will govern the review and approval by the DRC. Any drawings accompanying guidelines are illustrative only, and are intended to provide direction and interpretation of the related guideline.

Each R-4 Residential lot shall contain a single family residence or a duplex or townhouse comprised of two (2) units. All single family residences located within the R-4 Residential area shall comply with the requirements for single family residences set forth in Chapter VI, except as specifically modified by this Chapter VII. In addition to the guidelines described here, the following documents apply to all developments in the R-4 Residential areas:

- a) City of Kalispell Zoning Ordinance
- b) Declaration of Covenants, Conditions, Restrictions and Reservations, as amended





A. R-4 Residential Site Design

1. Building Setbacks/Building Envelope

- a) Setbacks for all R-4 Residential development shall comply with the City of Kalispell Zoning Ordinance.
- b) Outdoor storage of equipment or RV's is prohibited within the front yard setback of any residential lot.
- c) The principal structures on the site shall be the dominant elements on site. All accessory structures shall be subordinate in size to the principal structures.
- d) Building massing and scale should be responsive to the site, including views, terrain, visibility of site and existing vegetation.
- e) Dog kennels shall be screened from view.
Buildings should be sited and landscaped so as to minimize the impact on neighboring lots, especially visual impacts.
- f) The "General Geotechnical Report for the Stillwater River" may be acquired from the DRC.

2. Signs

Signs provide a strong visual connection with the community, and provide information about the activities in the development. Signs should engage and complement the design of the neighborhood. The signage guidelines allow for signs that reflect the quality of Silverbrook Estates and that complement the rural Kalispell farmland surrounding it. Signs in the residential areas are intended to be limited in extent and size, so as not to detract from the overall agrarian ambience. The Master Developer shall provide Subdivision Entry and Street Identification signs to be maintained by the POA.

- a) Design Review: There shall be no official review of designs for signs to be located within R-4 Residential lots. The DRC reserves the right to enter onto a property or lot to inspect for compliance with the Signage Guidelines. The POA shall monitor sign usage, however, and require removal of non-complying signs.
- b) Since the signs associated with R-4 Residential areas are limited in scope and application, the material and design options are limited to the following:
 - Signs shall be constructed of high quality, durable materials such as stone, metal, and wood.
 - Painted surfaces shall be minimal and well maintained for the duration of the sign.
 - Colors shall be muted and complement the building design; bright colors may be used only for accent features.
 - Sign illumination: Reference lighting guidelines.
- c) Allowable Signs: Only the signs identified below are allowable on individual lots. These provisions are exclusive of street identification signs as described in the General Design Guidelines.

- Address signs are required for all residential property within Silverbrook Estates, and shall comply with the following:
 - Address signs shall have four-inch tall numbers in a legible typeface, designed to be visible at night.
 - Such signs shall be no larger than two square feet, and shall not be mounted on a base.
 - Address signs shall include the street number, and may include the street name as well.
 - An address identification sign may be incorporated into the street façade of the residence.
 - Such signs may not incorporate identification of a home business.
- Campaign and election signs, with the following provisions:
 - Campaign and election signs shall be located on private property.
 - Such signs shall not be larger than six square feet.
 - Such signs shall not be installed prior to 15 calendar days before an election.
 - Such signs shall be removed within 15 calendar days of an election.
- Portable yard signs, with the following provisions:
 - Portable yard signs can be used to show the property is for sale and for events such as open houses and garage sales.
 - “For Rent” signs are not allowed.
 - Portable yard signs can be no more than six square feet in area.
 - Yard signs, except “For Sale” signs, may not be in place for more than three calendar days.
 - The yard sign must be located within the property boundary where the event is occurring.



3. Driveways and Parking

- a) All required parking shall be within the lot boundary, and shall not encroach on public or private right-of-ways.
- b) The minimum length of a driveway is 25 feet between the garage face and the building side of the sidewalk.
- c) An eight-foot landscape island shall divide adjacent driveways.
- d) Access drives, driveways, and parking surfaces should be constructed of paving units, asphalt or concrete.
- e) Locking garages for each unit are encouraged.
- f) One (1) visitor parking space should be included on the lot.

4. Grading and Drainage

- a) All lots within Silverbrook Estates shall discharge excessive stormwater into the streets. Each Lot Owner is responsible for its own grading to ensure adequate drainage, erosion control and to avoid adversely impacting other Lots.
- b) Surface drainage shall not be directed onto adjacent properties.
- c) The drains and grassy swales have been designed to transport stormwater to the detention ponds at Silverbrook Estates.

5. Utilities

- a) All utilities shall be located underground or behind screened areas.
- b) All electrical conduits for right-of-way landscaping, lighting, and signage shall be provided and installed by the project developer.
- c) Each Lot Owner shall assume the burden and expense of supplying electricity, telephone, cable facilities, water service, sewers, or other utilities for the lot's use.
- d) The Master Developer will install, and the POA will maintain, utility services to the Lot or to points in close proximity to the Lots. The Lot Owner shall pay all costs associated with connecting utilities.
- e) The project developer will install the water and sewer lines up to the building.

6. Fences

- a) Fencing within the R-4 Residential areas shall be designed and constructed as required in Chapter IV of this document, "General Design Guidelines."
- b) It is understood that security and privacy are a primary and necessary component of home ownership. The guidelines are intended to support the need for privacy without negatively impacting the overall sense of shared community and neighborhood companionship.

7. Trash Containers and Enclosures

- a) All R-4 Residential lot owners shall provide individual trash containers that meet local collection standards.

- b) Portable or individual trash containers should be stored in a shed or in the garage

8. Hot Tubs

- a) All hot tubs shall be constructed according to industry or manufacturer standards as well as International Building Code.
- b) Hot tubs may be in-ground or above ground. If hot tubs are above ground, all necessary mechanical equipment and support structures shall be screened from view.

9. Recreational Equipment

- a) Recreational equipment shall be setback from the rear property lines at least ten (10) feet.
- b) Any lots with play or recreational equipment in the rear yard shall screen this use from adjacent properties by means of landscape plantings that are at least six (6) feet in height.
- c) Individual homeowners within the R-4 Residential development may install or construct freestanding or anchored play equipment in their rear yards on their property.

10. Firewood

- a) Residences in R-4 Residential areas shall store firewood on the individual lots.
- b) Firewood storage areas shall be constructed or situated taking into consideration local governing fire code or restrictions.
- c) Brightly colored tarps shall not be used to cover firewood.
- d) The Kalispell Fire Department may be contacted regarding local fire codes or restrictions.
- e) All firewood storage areas shall be concealed from adjacent properties or land uses by means of a fence, enclosure, or landscape plantings.

11. Dog Kennels

- a) Dog kennels are permitted within the rear or side yards only.
- b) Dog kennels shall not be located in the front yard of any residential lot.
- c) All dog kennels or dog runs are subject to the review and approval of DRC.
- d) Dog kennels should be constructed of durable materials, such as heavy gage steel with wire grid.
- e) Kennels should be placed in an inconspicuous area away from the direct view of adjacent lots and primary roads.
- f) Screening is required for all dog kennels.

12. Outdoor Storage

- g) Outdoor storage is prohibited, except for stacked firewood. Items such as bikes, barbecues and outdoor furniture stored or used on decks and in side or rear yards are not considered “outdoor storage.”
- h) Outdoor storage of recreational vehicles (RV’s), trailers and boats are prohibited. They must be stored in garages or other buildings.
- i) Provide adequate storage space in residences or garages.
- j) Separate storage structures or sheds are not permitted.

B. R-4 Residential Landscape Design

1. Lot Landscaping

- a) All R-4 Residential lots shall be planted with at least one (1) large, deciduous canopy tree per lot.
- b) All R-4 Residential lots shall be planted with at least one large, coniferous tree per lot.
- c) All R-4 Residential lots shall be planted with at least two (2) small, ornamental trees per lot.
- d) All R-4 Residential lots shall install and maintain at least 20% of the lot as landscaped (either native or ornamental) area.
- e) Definitions of plant material sizes are located in Chapter IV, section on “Plant Sizes.”
- f) Foundation plantings shall be used to conceal foundations, mechanical equipment, play equipment, firewood storage or other undesirable views onto the property.
- g) Respect views from neighboring lots.
- h) Be aware that fruit-bearing trees may attract wildlife in the fall and that these animals may damage these trees. Fruit-bearing trees should not be planted near walkways or trail corridors due to dropping debris.
- i) Street tree spacing may be adjusted by the DRC at the time of installation to respond to driveway locations.
- j) Fences and privacy berms are strongly discouraged. Vegetative hedges are preferred.
- k) If used, berms should be contoured to look as natural as possible and they should be planted.

2. Lawn Areas

- a) Lawn areas shall be mowed to maintain attractive leaf blade lengths throughout the growing season.
- b) Lawns should be watered adequately to prevent sun scorching or dying off of large expanses of grass.
- c) Irrigation of lawns should be adjusted to maintain a healthy lawn and conserve water during these times.

3. Irrigation

- a) All residential lots within Silverbrook Estates shall be irrigated with an automatic irrigation system.

- b) Landscape designs shall take into consideration conservation of water during irrigation and design systems to use water as efficiently as possible.

4. Maintenance of Landscaping

- a) These landscaped areas shall be maintained in a good condition throughout the year.
- b) If fencing or netting is required in the fall to protect against animal damage, it should be installed on October 1st and removed on May 1st of every year.

5. Foundation Plantings

- a) Foundation plantings are required in order to conceal foundations, mechanical equipment, play equipment, firewood storage or other undesirable views onto the property.

C. R-4 Residential Building Design

The guidelines which follow are in addition to the General Building Guidelines discussed above. The guidelines are intended to facilitate design which adapts well to the overall vision of Silverbrook Estates townhouse community while encouraging designs which uniquely reflect the user and designer.

1. Maximum Lot Coverage & Building Height

- a) Each R-4 Residential dwelling in Silverbrook Estates shall comply with the following:
 - **Maximum Building Height:** The maximum allowable building height is thirty-five (35) feet from the lowest adjacent grade level to the highest point on the roof or parapet wall.

2. Pre-Fabricated Architectural Components

Manufactured homes, as defined by the *Kalispell Zoning Ordinance* are not permitted at Silverbrook Estates. Pre-fabricated architectural components are permitted, provided that they are of high-quality materials, detailing, and finishes. They must comply with the Kalispell Zoning Ordinance and all the Design Guidelines stated herein.

3. Porches/Decks/Terraces

Front porches are encouraged, as they stimulate neighborhood interaction while providing a safe transition zone between the private residence and the outside world. Porches also contribute to variation in the building mass and provide a welcoming entry to the home.

- a) Front porches shall be sufficiently sized to accommodate seating. In most cases, porches should be at least five feet in depth to allow adequate room for furniture.
- b) Front porches shall have full roof coverage, to provide protection from the elements and for more direct incorporation / association with the house.
- c) Front porches shall have railings.
- d) Front porches should be open (i.e. not enclosed with wood, glass, or other materials).
- e) Porches may be screened if the support is visually minimized and the screening is placed behind the columns or railings.

Rear porches, decks, and terraces are permitted. They can provide a natural transition from the home to the site. These are typically considered to belong more to the private zone of the dwelling and are often less formal and more utilitarian than front porches.

- a) Rear decks are not required to have roof coverage.
- b) Rear decks and porches shall have railings as required by code.



4. Balconies

Balconies create an extension of the living space and a comfortable connection to the outdoors.

- a) Balconies shall be integrated into the overall building design.
- b) Balconies shall have a solid floor material and internal drain or direct run-off away from the building. If the latter, balcony shall not be located over an occupied area.
- c) Balconies shall have railings as required by code.
- d) Balconies shall be open (i.e. no solid enclosures will be permitted).

5. Entries

A home's entry is a major component of the overall design and conveys much about the owner. Careful, integrated design is essential in the expression of the individual within this complex community. See *Openings – Windows and Doors* for further elaboration on entry doors.

- a) Entries shall be treated as a transition from exterior to interior space.
- b) Entries shall be celebrated as a design element through the incorporation of overhead elements, porches, and lighting.



6. Exterior Materials

The exterior materials of a building represent more than a skin applied to a shell – they represent the building construction method, the nature of the material itself, and contribute to the overall design and energy efficiency of the building. These exposed materials should be used in a manner that is in accord with their natural properties; while concealed improvements in energy efficiency are encouraged. Integrity of each material should be emphasized in its application, and convey the true construction process; materials applied as an “appliqué” shall be avoided.

- a) The following general practices apply:
 - Energy efficiency and sustainable practices shall be considered during the design process.
 - Synthetic materials that attempt to simulate the appearance of natural materials shall not be permitted unless detailed to emulate the natural material.
 - Where there are changes in material, they shall occur at changes in plane. This practice contributes to a more substantial and integral appearance.
 - Masonry shall only be installed in bond patterns that imply non-veneer, solid masonry construction.
 - Contrast in material textures shall be integrated into the design.
 - Colors of primary components shall be muted and of low gloss.
 - Colors of accent components can be more dynamic and of higher gloss.
- b) Walls: The materials noted below apply to cladding and trim components:
 - The following wall surface materials shall be permitted:
 - Corrugated metal or sheet metal.
 - Poured concrete.
 - Stone and cast stone.
 - Split-face and ground-face concrete block.
 - Brick of standard modular units.
 - Wood, including siding, panels, shingles, and clapboards.
 - Cementitious siding.

- Stucco.
 - Steel used as an honest expression of support, such as for support braces and for trellises.
- The following wall surface materials shall not be permitted:
 - Vinyl, steel, and aluminum siding.
 - EIFS (Exterior Insulation and Finish Systems like Dryvit Systems, Inc.).
 - T-111 wood siding.
 - Jumbo brick (as defined earlier).
 - Utilitarian, unfinished concrete block.
- c) Chimneys: Exposed chimneys shall be clad with brick, stone, stucco, or concrete.
- d) Roofs:
Roof shapes and materials have a primary visual impact on the appearance of a building. Their design should be treated as an integral component (essentially the fifth elevation) of a building. Many of the rooftops at Silverbrook Estates are visible from the intersection of Highway 93 and Church Drive. This should be factored into the rooftop design.

- The following design parameters shall be followed:

- A variety of roof forms and the interaction between them (such as cross-gable roofs and dormers) is encouraged as a means of breaking up the roof expanse and relating to the building forms below.
- Roofs should be pitched and overhang the outside wall at least one foot (two feet is preferable). Rakes shall overhang the outside wall no more than six inches.
- Extended rafter tails, brackets, and exposed supports.



- The following are the only allowable roof shapes:
 - Flat Roof (if concealed by a parapet, railing, or decking material)
 - Gable Roof
 - Shed Roof
- The following roofing materials shall be permitted:
 - Standing seam metal roofing.
 - Flat seam metal roofing.
 - Architectural asphalt shingles.
 - Wood shingles and shakes (and concrete substitutes).

- Flat rubber roofing can be used if it is concealed by a parapet, railing, or decking material.
- Photovoltaic integrated roofing systems.
- The following roofing materials shall not be permitted:
 - Exposed fastener metal roofs.
 - Plain asphalt shingles.
 - Metal shingles.
 - Clay tile.
 - Wood batten roofing.
 - Slate roofing.
 - Flat rubber roofing where covering more than 25% of the building's roof area.
- Roof Accessories:
 - The appearance of a well-designed home with an interesting roof can be detracted by roof accessories. When considered as part of the design process, roof accessories can complement the roof design.
 - The following materials shall be permitted:
 - ~ Flat, sloped skylights.
 - ~ Low-profile light domes.
 - ~ Vents that are incorporated into the ridges and hips, or are an integral component of the roofing material.
 - The following materials shall not be permitted:
 - ~ Mushroom style vents.
 - ~ Bubble-type skylights on exposed surfaces.
 - ~ Traditional PV modules that are mounted above the roof on racks.
 - ~ Mechanical equipment mounted above the roof.

e) Openings – Windows and Doors:

Windows and doors are essential components of a home. They fulfill necessary functional requirements such as natural illumination and ventilation, entry, and connection between building interior and exterior. They also form an important role in energy consumption and efficiency, particularly in this environment. In addition, the detailing and window treatment relate directly to the overall aesthetics of the home. Placement, material, and size shall be carefully considered throughout the design process.



- The following general guidelines apply:
 - Windows shall be sized and configured to provide adequate natural illumination in the building.
 - The scale and locations of openings shall be consistent with the overall façade and building design.
 - The size, location, and wall placement of openings shall be in accord with the perceived structure of the building (i.e. windows and doors will be recessed from, rather than flush with, the facade).
- The following materials shall be permitted:
 - Wood windows and doors.
 - Aluminum-clad windows.
 - Steel windows and steel French (glazed) doors.
 - Windows and doors with true divided lites.
 - Operable windows.
 - Vinyl and vinyl-clad windows and doors.
 - Doors or windows with smoke or bronze tinted glass.
 - Glass block that is detailed like the masonry component it is and appears to be properly supported.
- The following materials shall not be permitted:
 - Glass block that does not reflect it as a masonry construction.
 - Sliding glass doors at main front entry.
 - Doors or windows with reflective glass, or glass tinted other than those tints permitted above.



7. Garages

The placement and design of garages has a profound impact on the image of a home. It is important that each dwelling read as the primary component of that lot; that the dwelling not be overpowered by the presence of the garage. Each garage is intended to be an ancillary structure to each dwelling. The garage shall be designed to be read as a secondary component of the composition. This will require integration of the garage design during the early design of the dwelling and the site.



- a) The following general guidelines apply to garages:
- Each dwelling shall have, at a minimum, an attached single-car garage.
 - Garage design shall be consistent with the house design in material, general massing, roofing, and color.
 - Garages shall be enclosed and roofed. They shall have three solid walls, and openings as required in the fourth wall.
 - Garage doors should not be the primary visual focus on the front elevation of any building.
- b) The following guidelines apply to doors in garages:
- Garage doors:
 - The use of insulated doors and those that comply with sustainability guidelines is encouraged.
 - The use of wood or painted metal doors is encouraged.
 - Doors should appear to be recessed behind the wall, rather than flush with the exterior wall.
 - The design of the door should be compatible with those of the house.
 - Entry doors: See guidelines for *Openings – Windows and Doors* above.

VIII. CONSTRUCTION PROCEDURES

The DRC has made every effort to ensure that development within Silverbrook Estates is conducted in a manner that will complement adjacent projects. However, it is recommended that all adjacent project developers intending to propose development in Silverbrook Estates establish good communication with each other and adjacent property owners during the design and construction of the projects.

Project developers should coordinate site plans, access to lots, parking lots, pedestrian plazas and walkways, landscaping and perimeter treatment of their lots. They are encouraged to consider opportunities to coordinate their planning efforts for site amenities. This will generate cohesive design and the potential for cost savings.

All project developers and contractors shall ensure that all construction is performed in accordance with the following requirements:

- A. Adjacent property is protected from damage during the construction process. If damage occurs, restoration to original conditions shall be completed within 30 days of the occurrence.
- B. Temporary structures, such as construction trailers, dumpsters, and toilets shall be removed within 15 days of completion of construction and shall not be located where they might negatively impact adjacent properties.
- C. Roadways shall be maintained and/or repaired as needed in order to prevent the excessive wear and tear caused by construction vehicles. All contractors shall park on dedicated public streets or within the confines of the property on which the construction is taking place.
- D. Construction staging and storage of materials shall be located only on the lot on which construction is taking place and should be paved with two inches of three-quarter-inch screened gravel. Public roadways and adjacent properties are not permitted as construction storage and staging areas.
- E. Construction vehicles shall only have access to the property from existing roads adjacent to the construction site.
- F. The site plan, landscape plan, or grading plan shall illustrate and call out plans for the control of erosion and vegetation/tree protection during the construction process. All re-vegetation shall be done in accordance with these plans, as approved by the DRC. All surplus building and landscaping materials shall be promptly removed from the construction site following completion of the project.
- G. All sites shall also have an on-site enclosed portable toilet that should be kept clean at all times and be located to lessen impacts to adjacent properties. The portable toilets shall be removed promptly after construction is completed.
- H. All construction sites shall have temporary electrical service for building purposes. Power from adjacent properties shall not be used unless permission is granted by owner of said property.
- I. Construction activity is only permitted between 6:30 a.m. and 7:30 p.m. Monday through Saturday.

- J. All trash and construction debris shall be kept covered in appropriate refuse containers and emptied on a regular basis. Paving, landscaping and other contractors shall not dispose of leftover materials on adjacent private properties or on public roads.
- K. Project developers and their contractors are responsible for preventing the spread of noxious weeds. They are responsible for the decontamination of trucks, machinery, materials, and tools brought in from outside areas.
- L. The DRC, or their designated representative, has the right to enter upon the construction site to inspect construction at any time, including during routinely scheduled inspections for occupancy and during investigation for violations.

IX. REFERENCE DOCUMENTS

A. City of Kalispell Zoning Ordinance

This document is available at the City of Kalispell Planning Department offices at 17 Second Street East, Suite 211, Kalispell, MT or on-line at www.kalispellplanning.com. They may be reached at (406) 751-1850, during normal business hours.

B. Declaration of Covenants, Conditions, Restrictions and Reservations, as amended.

X. CONTACTS

Master Developer:
93 & Church, LLC
3154 Parkwood Lane
Bigfork, MT 59911

Silverbrook Estates Design Review Committee and Property Owners Association:
Western Mountains Property Management
33 Hunter Circle, Suite 1
Kalispell, MT 59901
(406) 257-1302

Governmental Agencies:

City of Kalispell Planning Department
17 Second Street East, Suite 211
Kalispell, MT 59901
(406) 751-1850

Montana Department of Environmental Quality
1520 East Sixth Avenue
P.O. Box 200901
Helena, MT 59620
(406) 444-2544
www.deq.state.mt.us

Montana Department of Transportation
2701 Prospect Avenue
P.O. Box 201001
Helena, MT 59620
(406) 444-6200
www.mdt.state.mt.us

City of Kalispell Police Department
321 First Avenue East
Kalispell, MT 59901
(406) 758-7780

City of Kalispell Fire Department
321 First Avenue East
Kalispell, MT 59901
(406) 758-7760

XI. APPLICATION/CHECKLISTS

A. Initial Plan Review Checklist

- Prepare and submit to the DRC this completed checklist and two (2) copies of the preliminary design in conceptual drawing form to describe the following:
- Site plans indicating building envelope, easements, setbacks, existing site elements, stream corridors, landscaping concepts, contours @ 2'-0" intervals, site drainage, location of retaining walls, orientation of garage, driveway materials and width, location of site section. (Scale 1" = 20'-0" minimum)
- Site sections indicating percent slope of site, extent of cut and fill, retaining walls, conformance with building height restrictions. (Scale 1" = 20'-0" minimum)
- Floor Plans (Scale 1/16" or 1/8" = 1'-0")
- Fire Sprinkler System/Alarm System to NFPA standard as per applicable building codes.
- Building Exterior Elevations of all sides (Scale 1/16" or 1/8" = 1'-0")
- Roof Design showing all eaves, parapets, and rooftop equipment or accessories (Scale: 1/16" or 1/8" = 1'-0")
- Exterior Materials – Cut sheets or samples
- Location of all exterior signage
- Building Height Sketch showing height
- Written statement summarizing setback, height and square footage or proposed construction and whether any variance requests will be made.

B. Initial Plan Review Evaluation Criteria

- All development is contained within building envelope
- Building will be located on least environmentally sensitive portion of a site
- Building section is appropriate to slope of site:
 - Conforms to building height requirements
 - Retaining walls are less than 5'-0" high, 25'-0" in unbroken length
 - Drive conforms in terms of width, slope, extent, and material
- All variance requests must be clearly defined, and in writing
- Appropriateness of architecture

C. Final Plan Review Checklist (3 pages total)

Two copies of drawings and written materials and this completed checklist, along with one set of all proposed building materials for the Final Plan Review and Approval must be submitted to the DRC at least ten (10) business days prior to their next scheduled meeting. The DRC can only approve a Final Plan submittal when each of the items listed below has been submitted and approved.

General

- Plan Review Fee -\$200.00 for residential, \$1,000 for commercial
- Square Footage Summary
- Statement of building height and building height calculations

Site Plan (scale 1" = 20'-0" or 1" = 16'-0")

- Property Boundaries
- Easements and setbacks
- Existing and proposed contours at two foot intervals
- Building footprint lies within building envelope, confirmed by the production of an engineered drawing, verifying the location of the to be built home. This drawing shall be presented to the DRC within 30 days prior to the foundation pour.
- Utility meters
- Transformer locations
- Trash enclosure
- Service lines for water, sewer, gas telephone, cable TV and electric (existing service to building, if applicable)
- Proposed roads, walks, driveways, parking, decks, pools, patios, accessory buildings and all site improvements
- Materials to be utilized for construction of roads, walks, driveways, decks, pools and porches

- Surface drainage
- Finished floor elevations

Landscape and Irrigation Plan (same scale as Site Plan, to be submitted prior to beginning of landscaping)

- Location, type, planted and mature size and quantity of all plant materials and landscape feature proposed for use.
- Final grading, extent of cut and fill
- Proposed treatment of all ground surfaces (turf, ground cover, mulch, pavers, etc.)
- Extent of turf areas to be mowed and irrigated (transition zone maintained, irrigation method indicated)
- Proposed seed mixes and rate
- Lighting locations type and wattage
- Details of any fencing or specialty features proposed

Building Drawings (scale 1/4" or 1/8" = 1'-0")

- Floor plans showing square footages
- All exterior elevations showing finished grade, materials, windows, doors, colors, signage, details, and lighting
- Primary roof pitch
- Secondary roof pitch
- Conformance with building height restrictions
- Fire Protection plans if applicable
- Project specifications, including use of water saving devices
- Roof Design showing all eaves, parapets, and rooftop equipment or accessories (Scale: 1/16" or 1/8" = 1'-0")

- Full scale material board indicating exterior wall and trim materials, exterior stone samples, window colors, roof materials and flashing, exterior paving materials, exterior finish colors, presented as actual material with finishes applied.
- Exterior lighting fixture cut sheets

D. Final Plan Review Evaluation Criteria

- All development is contained within building envelope. This fact shall be confirmed by the production of an engineered drawing, verifying the location of the as built home. This drawing shall be presented to the DRC within 30 days of the completion of the foundation pour.
- Building will be located on least environmentally sensitive portion of a site.
- Building section and form is appropriate to slope of site:
 - Conforms to building height, roof slope, overhang and fascia requirements
 - Retaining walls are less than 5'-0" high and less than 25'-0" in unbroken length
 - Driveway conforms in terms of width slope, extent and material
 - Two story volumes are interrupted by an intersecting roof form.
- Exterior materials and colors conform to design regulations.
- All variance requests regarding these regulations are clearly defined, and in writing.

E. Final Plan Review Certification of Submittal Completeness

Note: AFTER FINAL PLAN APPROVAL HAS BEEN OBTAINED, NO CHANGE FROM APPROVED PLANS SHALL BE MADE WITHOUT THE REVIEW AND WRITTEN APPROVAL OF THE SILVERBROOK ESTATES COMMITTEE FOR DESIGN REVIEW.

I hereby certify that all information on this sheet has been provided to the Silverbrook Estates Design Review Committee.

OWNER/Architect

Date