

AT HOME

NORTHWEST MONTANA

NORTHLAND
*Subdivision
launches
next phase*

FREE GUIDE TO REAL ESTATE

Daily Inter Lake publication

MARCH 2019

FROM PLAN TO PROJECT

WITH A HOME EQUITY LINE OF CREDIT



Turn your vision into a reality
at Whitefish Credit Union.



WhitefishCU.com

Equal Housing Opportunity. Subject to membership eligibility. Federally insured by NCUA. 

Proven Results

Partnering with buyers and sellers in the Flathead Valley for 10 years; a **TOP PRODUCER** for the last 5!

Let me get results for you!

Jennifer Shelley Owner / Realtor®

406.249.8929 • JenniferShelley@PureWestMT.com

www.JenniferShelley.com



29918 Black Point Road, Polson | MLS #21802639 | \$3,480,000

404 frontage feet on Flathead Lake (Safety Bay) with views of Bull Island & beyond. Architecturally designed 3-bed main home, private Master Suite wing, theater, gourmet kitchen, large office, wraparound decks/patios, 3-bed guest home+more!



5383 US-93, Somers | MLS #21809858 | \$2,200,000

Own a 2.3 acre private island with 1,366 frontage feet on pristine Flathead Lake! Extensive site plan analysis & review: home construction, site map, boat dock, walkways, paths, well, septic, power, & communication (see engineering doc for details).



22377 Hwy 35, Bigfork | MLS #21805173 | \$1,495,000

Extraordinary Flathead Lake estate on 1.32 acres & 151+ feet of lakeshore. 3,223 sf, 3 bed/3 bath, private, wooded setting with beautiful lake and mountain views, dock and shore station. Spacious great room, main level master suite, amazing kitchen w/lake views.



31922 Lake to Sky Road, Bigfork | MLS #21808138 | \$969,000

20 private acres overlooking Flathead Lake, custom 3320 sf 4BD 3.5BA home. Expansive 1700 sf wraparound deck—perfect for entertaining, stargazing & sunset watching. Incredible floor-to-ceiling windows, 3-sided river rock fireplace, main level Master.



500 Windsor Drive, Bigfork | MLS #21807218 | \$788,000

Spectacular Flathead Lake views from custom 3834 sf, 4 BD/2 1/2 BA home on 2 acres, close to Bigfork! Beautiful finishes throughout, main level master suite, lower level rec room, 3 guest bedrooms, & greenhouse. Beautifully landscaped, over-sized 2-car garage.



NEW LISTING

13628 Rainbow Drive, Bigfork | MLS #21902500 | \$728,000

Recently updated 3976 sf 4BD/3.5BA home on .59 acres & 134 frontage feet on Swan Lake. Situated directly across the lake from Kootenai Lodge with awesome Swan Mtn views! 2-car att. garage, boat launch, dock & access to 4 HOA lake access common areas.



CHRISTIE'S
INTERNATIONAL REAL ESTATE

Jennifer Shelley is a Licensed Realtor® in the State of Montana. 420 Electric Avenue, Bigfork, MT 59911. Stats based on data from the MRMLS for the period of 01/01/14 to 12/31/18. Information deemed reliable but not guaranteed by PureWest Real Estate. Visit www.PureWestRealEstate.com for more details.



CONTENTS

- 5 In Focus
- 11 Realtor Q&A
- 14 By the Numbers
- 19 Commentary
- 22 Beyond Real Estate

All real estate advertising in this publication is subject to the Federal and State Fair Housing Acts, which make it illegal to advertise any preference, limitation or discrimination based on color, religion, sex, handicap, familial status or national origin, marital status, age and/or creed, or intention to make any such preferences, limitations or discrimination. Familial status includes children under the age of 18 living with parents or legal custodians, and pregnant women and people securing custody of children under 18. This publication will not knowingly accept any advertising for real estate in violation of the law. Our readers are hereby informed that all dwellings advertised in this publication are available on an equal-opportunity basis. To report discrimination in housing call:

Montana Fair Housing
1-800-929-2611
Housing and Urban Development,
1-800-877-7353

AT HOME NW MONTANA *The definitive real estate publication for Northwest Montana*

PUBLISH DATE/AD DEADLINE
April 21/April 12
May19/May 10
June 16/June 7

TO ADVERTISE
Contact Anton Kaufer
akauffer@dailyinterlake.com
406-758-4410

DAILY INTER LAKE
406-755-7000
727 E. Idaho, Kalispell MT 59901
www.dailyinterlake.com

NOW IS THE
TIME TO SAVE
ON GORGEOUS
CARPET FROM
KARASTAN

**Flooring
America**
where friends send friends

Poiema Carpet & Interiors Inc.
206 West Center Street • Kalispell, MT
M-F 9am - 5:30pm • Sat 10am - 4pm
Sun Closed
flooringamericapoiema.com
406.752.4995

**NATIONAL
Karastan[®]
MONTH**

**LOWEST PRICES
of the Season**
Hurry In Now Sale Ends Soon!



WESTCRAFT'S ROSEMONT model features an open kitchen connected to a spacious dining area. One home in this style is currently available at Northland, a growing subdivision developed by Westcraft Homes on the north side of Kalispell.

A new phase for Northland

Westcraft subdivision putting almost 100 more lots on market

By HEIDI GAISER
Daily Inter Lake

Though development of Northland began more than a decade ago, the subdivision by Westcraft Homes is set to double in size as it kicks off its next phase.

Located off 4 Mile Drive to the west of Kidsports complex in Kalispell, Northland currently has about 100 houses and Westcraft is preparing more land for sale this spring.

"Northland is tucked back in this quiet pocket and many people don't know about it," Brenda Wilkins, one of the co-owners of Westcraft Homes, said. "It's so accessible to all the features of north Kalispell, but it's not affected by the increasing traffic."

Wilkins noted the area's quick commute to Kidsports, Flathead Valley Community College, Glacier High School and local bike trails. Northland also offers its own parks

and trails, with more green space planned for the new phase. Some lots within the subdivision offer sweeping views of the valley and into Glacier Park. Ten of those view sites are available now, with about 75 more quarter-acre single-family lots and 15 lots for townhomes ready soon.

Two new Westcraft homes, the Rosemont and Maple models, are also ready for purchase.

"The Rosemont looks all the way down the largest green belt," Wilkins said.

Wilkins said Westcraft hasn't locked in the land prices, but the lower-level quarter-acre lots will probably be around \$75,000 with larger lots on the hill in the \$100,000 range.

Westcraft will construct homes on any lot, but buyers are welcome to

See NORTHLAND, Page 7



Matthew Hohnberger

Your success - My satisfaction



(406) 892-3000 Office
(406) 212-3600 Cell
(406) 892-3202 Fax

ALL listings ONE site
MatthewHohnberger.com

RE/MAX Mountain View
610 9th Street West
Columbia Falls, MT 59912



NHN North Fork Rd, Polebridge
\$2,390,000

Awe-inspiring live water property! 173 acres bordering Glacier National Park & Forest Service lands. 3,042 feet river frontage, Moose Creek, spring fed ponds, towering old-growth timber & tranquil meadows, all located in a Wild & Scenic Corridor. Wildlife & trout abound. This property is in a class all its own!
#NOR-MH/21708884



1327 Moose Creek Rd, Polebridge
\$2,190,000

Isolation, Wilderness & Wildlife on this matchless 153+ acres surrounded by Forest Service land. Moose Creek flows through the property providing over 1/2 mile of pristine creek frontage. Rare hydro-power system producing electricity 24/7/365. An off-grid wonder! 2 bed 2 bath 2,518SF home, garage, greenhouse, garden & 30x30 shop. This place is beyond compare! #TOB-MH/21708881



204 Lake Blaine Drive, Kalispell
\$1,150,000

Magnificent Home on 10 acres close to Lake Blaine with fabulous mountain views. 5 bed 3 bath 5,914SF with many high-end finishes & in meticulous condition. 15' vaulted ceilings, fireplace, tile, granite, Wolf stainless steel appliances, 3+ car garage & massive 3 bay shop. Dream home on a dream setting! #JEN-MH/21813732



199 Stageline Drive, Whitefish
\$825,000

Unparalleled setting with views & timber! 13.5 acres, 4 bed, 3 bath, 4,149SF home, family/rec room, library/office area, cathedral wood ceilings, superior open layout, decks, indoor hot tub/pool combination & beautiful landscaping. Double garage, carport, 30x30 shop, 24x24 barn with loft, paved driveway, garden, fruit trees & wine/root cellar. 5 min. to Whitefish, 10 min. to Kalispell, 30 min. to Glacier Park. #EGG-MH/21801054



551 E Red Meadow Drive, Polebridge
\$690,000

River views, access & frontage! Rare 15.75 acres in Polebridge overlooking the North Fork River with fantastic views of the Glacier Mountains. Rustic home with 3 bed, 3 bath, 2,128 SF with garage & carport. Guest apartment with 1 bed, 1 bath, 608 SF. Other features: greenhouse, gardens, polebarn storage & borders Forest Service land. Call today! #SUE-MH/21900323



NHN North Fork Rd, Polebridge
\$499,000

Great Privacy, Water frontage & Glacier Views on this 51 acres. Property has 3,300+ feet of seasonal Spruce Creek frontage, exceptional panoramic views of Rocky Mountains of Glacier National Park. Located only a couple miles from the entrance to Glacier Park & borders State land with multiple building sites. Don't miss out on this gem! #WIL-MH/21813487



154 Columbia Range Drive, Columbia Falls
\$389,900

Basically Brand New! Built just 3 years ago. Great 3 bed 4 bath, 1,983 SF home on 1.47 acres. Fabulous Mountain Views, vaulted ceilings, large master bed & bath. Each bedroom has its own bathroom, fireplace, rock accents & wood floors. Double garage, post/rail fence with dog wire. Come enjoy the views from the covered deck or patio. #SAL-MH/21900756



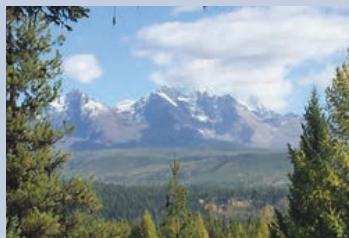
160 Splendid View Dr, Kalispell
\$379,900

This home has it all! Brand new 3 bed, 2 bath, 1,694SF home on 1 acre with superior mountain views! Home was built with precision & incredible construction, quality & finishes. Granite, tile, wood floors, fireplace, vaulted ceiling, covered cement patios & oversized double garage. Call today! #MEY-MH/21809914



2001 Haskill Divide, Kila
\$349,900

Unlimited Privacy! 40 acres surrounded by Forest Service. Mountain living in this almost brand new 3 bed 2 bath, 1,344SF home with office area, wood floors, meticulous finishes, carport & a fantastic alternate power system. A seasonal stream & spring make this the ultimate in off-grid living. Hike or hunt for miles right off your own property! #HAR-MH/21809842



NHN North Fork Rd, Polebridge
\$345,000

Fabulous 41 acres. Timbered with amazing views of Glacier's Rocky Mountains, the North Fork valley & the forested Whitefish Range. Unsurpassed privacy & Seclusion. Abundant wildlife. A place you will never want to leave once you arrive! #EDD-MH/21713017



1070 Numa Peak Rd, Polebridge
\$299,999

Glacier Park Views & Close to Polebridge. 3 bed 2 bath 2,808SF home on 5+ acres in two tracts. Double garage, bunkhouse, shed & alternate electric system with solar panels. Come enjoy the views, peace of the wilderness & abundant recreational opportunities—river rafting, fly-fishing, hiking, backpacking, kayaking, camping, hunting & more. #LOC-MH/21708424



600 & 612 Deep Woods Trail, Polebridge
\$250,000

Whale Creek Frontage! Gorgeous Whisper Creek style log home on 4.79 acres divided in 2 separate parcels with over 483 feet of creek frontage. Open layout with 3 bed, 1 bath, 1,920SF & large interior accent logs. Quaint timbered setting with a well, gravity flow spring water & bordering Forest Service. Come get away from it all! #VUC-MH/21809570



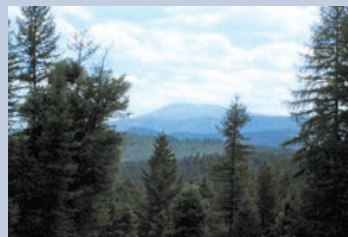
15750 & 15770 North Fork Rd, Polebridge
\$240,000

Privacy & Glacier Park views! 28 acres in the North Fork Valley where wilderness & wildlife are abundant & private land & people are limited. Heavily timbered, divided in 2 separate parcels, potentially great views from a ridge home-site with clearing trees. Seasonal holding ponds and only five miles from Canada & a public river access. #BLO-MH/21707536



1050 Jensen Road, Columbia Falls
\$199,900

Affordable country living! Remodeled mobile home with addition on 3.36 acres. 3 bed, 2 bath, 1,856SF in a great location with fantastic mountain views, large garage, barn, chicken coop, storage buildings & de-titled. New paint, flooring, roof, etc. in 2018. Additional permitted septic system for cabin, RV site, etc. Call today.. #SEL-MH/21901575



1685 Kienas Rd, Kalispell
\$99,900

Peaceful 9.9 acres with great views of the mountains, valley & Blacktail Ski Resort. Gated entrance, protective covenants, power & phone. Heavily timbered & quiet with lots of wildlife. You will love this parcel! #WAL-MH-21708419



NHN Kintla Ranch Rd, Polebridge
\$49,900

Experience the North Fork! 1 acre with views & 3 bed septic, shared well, driveway & site cleared & installed. Timbered and close to Forest Service land and 2 public river accesses. Owner Financing offered, \$25K down, 6% interest, 10 year Amort. 2 year balloon. Call today! #DEC-MH/21804198



NORTHLAND has convenient access to the business and shopping districts of north Kalispell, yet offers a rural feel with expansive views of mountains.

NORTHLAND/From Page 5

use any builder they choose, which isn't always the case in an established subdivision, Wilkins said. Westcraft homes currently comprise about 80 percent of the current homes in the development.

Northland was the first of five Westcraft subdivisions in the Flathead Valley, which include Silverbrook Estates, The Meadows and Buffalo Mountain in Kalispell, and Whisper Village at Meadow Lake Resort in Columbia Falls.

Wilkins said Westcraft is well-known in the building industry for its warranty program.

"We've been asked for many interviews on what you should look for when talking to a builder and evaluating a home warranty," she said. "We're vigilant about home warranty programs. We're one of the original developers of the homeowner warranty program in Alberta, and it's now the standard for the province."

See NORTHLAND, Page 8



A LARGE ISLAND stands at the heart of the Maple model kitchen. One completed home in the Maple design is currently available at Northland.

NORTHLAND/From Page 7

Wilkins expects the Flathead Valley housing market to continue supporting developments such as Northland.

"We are economists at heart and we pay close attention to the market in the valley and regionally," she said. "We know there's a huge demand in the valley. There's plenty of land in general terms, but not much of that is developable. We expect demand to be high in the next couple years.

"We're making sure we develop true neighborhoods. With the inevitable growth, we hope we're doing our part to create communities and homes that are well taken care of."

FOR MORE INFORMATION:
<https://westcrafthomes.com/>



WESTCRAFT'S MAPLE design features an open, light-filled main room.



Montana Brokers, Inc., Realtors®



(406)758-4747



DEBRA MILLS

Broker/Owner

(406)250-4747

homes@montanabrokers.com



KAREN HAARR

Broker

(406)270-1875

karen@montanabrokers.com



FIRST TIME ON THE MARKET

since 1992 and oh what a difference! My sellers have updated almost everything. 3 bed 1 1/2 bath with new flooring & windows and a 3-car garage/shop complete with hoist and heat. Call Karen on MLS#21902318. **\$239,900** LTO/KH#21902318



LOTS OF NATURAL LIGHT in this 2 bed/ 2.5 bath townhome. Abundant cabinet/ counter space in the kitchen. Open floor plan. Attached garage. Convenient Kalispell location situated on a Cul-de-sac. Nice end unit! **\$195,000** Call Deb Mills at 250-4747



EXTENSIVELY REMODELED

home in excellent condition with a beautiful privacy fenced yard. Three bedrooms and 1 1/2 baths. Attached double garage with accessible storage above. Lush landscaping with underground sprinklers. Call Deb Mills (406)250-4747 **\$255,000** GEI/DM#21810230



NICE UPDATED 3-BEDROOM HOME.

1 1/2 Lots, fenced back yard, playhouse. 2 Main floor bedrooms, unfinished basement. Double car garage plus 2+ off street parking spots. Ready for its new owner! **\$224,900** Call Deb Mills 250-4747 MAL/DM#21901988



www.montanabrokers.com | Email: info@montanabrokers.com
685 Sunset Blvd, Kalispell MT | (406)758-4747



Rob Keller, Broker
(406)253-7911

robkeller@montanabrokers.com
kalispellrealestateforsale.com

MBR (406) **758-4747**
MONTANA BROKERS, Inc.,
REALTORS®

685 Sunset Boulevard • Kalispell, MT 59901



“Thinking of Selling? Call me and let 23 years of experience in this market go to work for you. (406)253-7911.”



AREA OF NICE HOMES WITH BEAUTIFUL VIEWS OF THE ROCKIES.

The lot is 2.26 acres level ground. Septic approved, underground electric, phone and natural gas. **\$99,000**
THO/RK#21812509



THREE IN ONE PROPERTY.

Beautiful 24 acre mix of timber and meadow with frontage on a large pond. Easy access. Great location. **\$249,900**
MCW/RK#21802567



IN TOWN CONVENIENCE WITH OUT OF THIS WORLD VIEWS. Custom built w/ almost 5000 sf. Well-appointed open concept kitchen, large master suite, guest bedroom suite, office/3rd bedroom, hobby/bedroom and 1/2 bath for guests all on main level. Great deck for entertaining with magnificent views of the valley & mountains. Lots of additional room downstairs; bedroom, full bath, family room w/fireplace & wet bar & additional unfinished room to be finished how you like. You won't want to leave the view & comfort of this home, but when you do the conveniences of town are just around the corner. Elevated dishwasher for easy load/unload. Elevated washer/dryer for easy load/unload. Separate ice maker in kitchen is included. Auto Awning. **\$599,000** GRA/RK#21809910

MBR (406) **758-4747**
MONTANA BROKERS, Inc.,
REALTORS®

685 Sunset Boulevard • Kalispell, MT 59901



Brenda Miller, Broker
(406)261-6998

Brenda@MontanaBrokers.com
www.SellingTheFlathead.com



EXTREMELY WELL CARED FOR RANCH STYLE HOME IN THE LAKE BLAINE AREA. This lovely ranch style home sits on .80 acres, has 4 bedrooms, 1.5 bathrooms, a den and a natural gas stove in the living room. If you like to work on projects, the double detached garage has an attached workshop. No covenants and no zoning! **\$269,000** CAR/BM#21902477



THIS LOVELY TRI-LEVEL HOME sits on .34 acre and has 4 bedrooms, an office nook, a fully fenced backyard, greenhouse, garden area, an herb garden in a raised planter box and underground sprinklers. The open floor plan brings the kitchen, living room and dining room together for entertaining. Hop on the bypass and be shopping in minutes. This home is a must see! **\$315,000**
BUS/BM#21901043 Text HOME23255 to 878787



FLY HOME TO YOUR OWN LITTLE CORNER OF NW MONTANA nestled in Cabin Creek Landing! Two lots available. One is 2.43 acres and the other is 2.24, or buy both for a total of 4.67 acres. They both border the west end of the 3400+/- foot paved runway. 25 minute drive to Kalispell. Owner financing available. **\$58,000** each or **\$114,000** both. MLS#21805600, MLS#21805601 or MLS#21805602. Text:HOME23253 to 878787



LOVELY 5.44 ACRE PARCEL with a mixture of trees and meadows just waiting for you to build your new home. Approximately 3 miles up Patrick Creek Road. **\$129,000** REY/BM#21810885
TEXT:HOME23249 to 878787



Teri Bjornrud, Broker (406) 261-6809

MBR MONTANA BROKERS, INC., REALTORS®

685 Sunset Blvd. Kalispell, MT 59901



Email: teri@centurytel.net

www.kalispellarealestate.com

READY NOW!



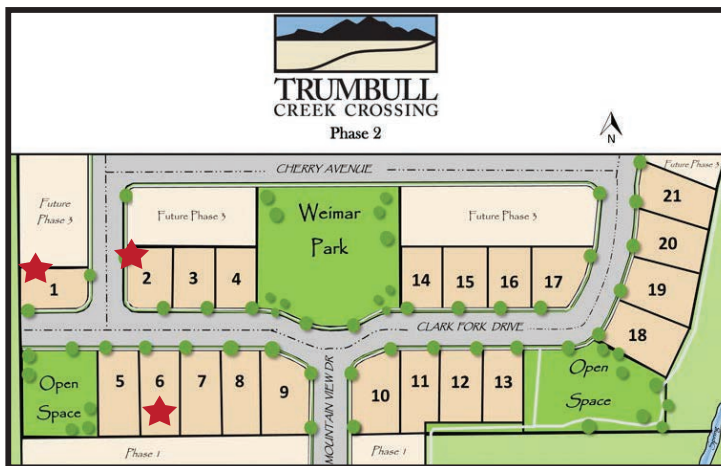
EASY LIVING! All new 3 bedroom, 2 bathroom rancher on a corner, perimeter lot! Open spaces & parks in neighborhood. Vaulted, open design. Kitchen with granite counters, pantry. Master bedroom has private bath with oversize shower & walk-in closet. **\$10,000 landscaping allowance!**
\$291,000 #21902445
Call Teri Bjornrud
(406) 261-6809



COME HAVE A LOOK Nearly ready 3 bedroom, 2 bathroom tri-level home. Kitchen has granite counters & island plus a big walk-in pantry. Enjoy all the benefits that new homes provide, including energy efficiency, all new components, appliances & warranties! Room to grow in the roughed-in basement. **\$10,000 landscaping allowance!** Large patio, parks and HOA areas close by for outdoor enjoyment.
\$319,000 #21902494
Call Teri Bjornrud
(406) 261-6809



BEAUTIFUL NEW RANCHER to be built in a great location. 3 bedroom, 2 bathroom and a 2 car garage on a corner lot. Energy efficient, vaulted ceilings, lifetime warranty windows, open concept, hickory kitchen with island, master suite with walk-in closet, and the price includes a \$10,000 allowance for landscaping or closing costs!
\$299,200 RTC/TB#21813852



WOODED
 2 acre homesite, close-in, Batavia area, fronts paved road, **\$59,959**
#2170762
PRICE REDUCED

5 ACRES Commercial or residential use, fronts Highway 2 and Wettington, **\$179,900**
#21800278
PRICE REDUCED



**Real Estate has been my "home"
 for nearly 40 years!**

(Office manager/assistant 1980, licensed to sell real estate in 1999)

Thank you for your continued business and referrals in 2019!

REALTOR Q&A

JANINE RUBINFIER, Keller Williams Realty Northwest Montana



AGENCY AFFILIATION: Keller Williams Realty Northwest Montana, 1830 3rd Ave E. #102 Kalispell, MT 59901

FAMILY: My close-knit family includes my longtime significant other, a daughter who attends Glacier High and a menagerie of happy equines, dogs, hogs and chickens

EDUCATION: Art Center College of Design, BFA Graphic Design and Packaging; Licensed Real Estate agent, State of Montana

COMMUNITY SERVICE: Flathead Valley 4H Leader, Kalispell FFA, Montana Master Gardener Program and Northwest Montana Pro Rodeo Pageant

TO CONTACT: 406-314-3336; jrubinfier@kw.com email; Download Janine's KW mobile app: <http://app.kw.com/KW2LDTTZG>

How did you become interested in selling real estate?

I've always been fascinated with residential real estate. I've been through the buying and selling process a gaggle of times as a home buyer and investment property owner before pursuing a career in Real Estate. I've always felt that being a good Realtor was something I could get really passionate about, especially after working with some not-so-good ones and experiencing what not to do.

Do you specialize in any particular areas of the real estate market? Describe any special designations you hold.

I specialize in residential property, investment properties and land. I'm currently pursuing my GRI (Graduate Realtor® Institute) designation.

Tell us a little bit about yourself.

I launched into selling real estate in Montana after a 20-plus year career as an award-winning creative director in a huge West Coast advertising agency. I never looked back. I believe that integrity and honesty are paramount to success in all pursuits. Always do the right thing and have a great work ethic.

What attributes help you be a successful Realtor?

I ask a lot of questions, listen carefully to my clients and respond in a timely manner. Being an enthusiastic member of the community coupled with my local knowledge allows me to provide personalized service to all of my clients.

What sets you apart from other agents?

Whether my clients want to go on a trail ride or

house hunting, I'm always up for the adventure.

What is the single most important aspect of selling real estate?

I believe in client-focused service where good enough is not enough. One must create a win-win experience and provide seamless assistance for every aspect of the home purchase or sale.

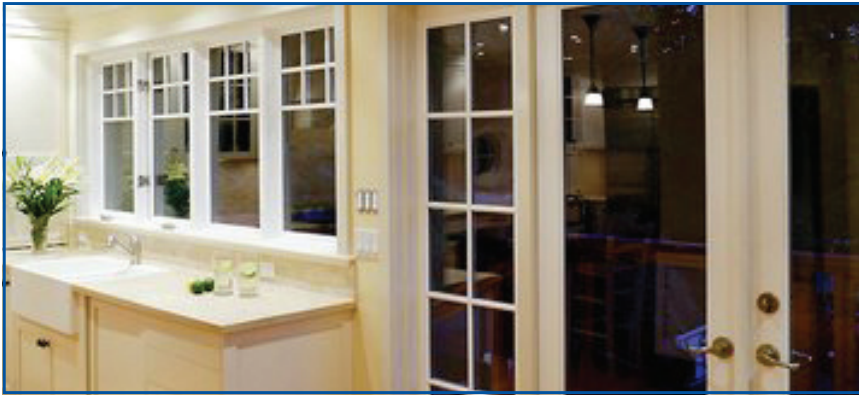
How would you describe the Flathead Valley market right now? What are the opportunities and challenges for buyers and sellers?

The Flathead Valley market is not necessarily a seller's market or a buyer's market right now. It's more of a balanced market — not a bad thing — just a little different. Interest rates have dropped a bit (but we all know how that can vary). Now is a good time if you're considering selling your property. Get it on the market while the winter inventory is still low. The downside to this is that buyers don't have as many properties to choose from within their search parameters. Entry-level buyers are challenged to find homes as prices are escalating within that category. Regardless, the Flathead market is seemingly active and has many great opportunities for both buyers and sellers.

What kind of preparation does a Realtor need on a day-to-day basis to best serve clients?

It's essential to be knowledgeable about our current inventory and financing opportunities, as well as market trends, comparable sales and property values. In order to provide optimum service to clients, it's equally imperative to be able to communicate, search and do business via technology. A great attitude goes a long way too!

WHAT YOU NEED, WHEN YOU NEED IT!



DOORS AND MILLWORK

Hollow Metal Doors and Hardware

Trim • Moulding • Windows

Residential Doors and Hardware

Stair Parts • Overhead Doors

Outside Salesman Service Direct To Your Job Site

TRUSSES, WALL PANELS AND COMPONENTS

Wood Roof and Floor Trusses

Pre-Fab Wall Panels • Truss Design Center

On-Site Laptop Design • 3D Software

Plate-Line Crane Delivery

Outside Salesmen Services Direct
To Your Job Site

**Preferred Supplier of Quality Home-
builders in the Flathead Valley**

Doors and Millwork 406-752-8393

Trusses and Wall Panels 406-752-8369

448 Ash Road, Kalispell • www.BuildWithBMC.com

ATTENTION: REALTORS

Call today to learn how
to transition your land
listing from "For Sale"
to "SOLD" with a new
presence on the MLS!



MITCH HEUER
REALTOR®

Kelly Right Real Estate 406.223.3442

Mitch@heuerengineering.com

Heuer Real Estate & Construction, Inc.

Serving Western Montana

*Better. Faster and
Smarter Way to Build!*



BE IN YOUR BRAND NEW HOME AS EARLY AS FALL,
2019!! Our homes are built in a controlled environment,
resulting in SUPERIOR quality and then placed on a
permanent foundation. EXACTLY and COMPETITIVELY
PRICED. Many options available to fit your budget- From
entry Level to Luxury.

Visit our website at

www.HeritageHomesofNE.com

to learn more about our

"Better, Faster and Smarter Way to build!"



A-TEAM MOVING



AND STORAGE

*We are a family owned and locally operated moving company. We have over 70+ years of moving experience on our crew.
Free estimates.*



Local Moves



Packaging



Crating



Commercial Moves



Climate Controlled Storage



Long Distance Moves



National Van Lines
U.S. DOT# 76628
FMCSA # MC42866

A-Team Moving and Storage
U.S. DOT# 2376754
FMCSA# MC-815908-C
MT PSC# 334

245 S. Complex Drive • Kalispell, MT 59901 • cdmars@ateammovingandstorage.com
Phone: (406) 890-7133 or (406) 890-7134 • AFTER HOURS: (406) 260-8038

BY THE NUMBERS

2018

2019

RESIDENTIAL SALES FEBRUARY 2018

LOCATION	UNITS SOLD	MEDIAN PRICE	AVG. DAYS
Kalispell	36	\$246,997	127
Whitefish	20	\$312,333	236
C-Falls	10	\$228,750	142
Bigfork	12	\$555,725	227
Lakeside	3	\$312,000	113
Eureka	0	\$0	0
Lake Co.	13	\$305,000	230
Lincoln Co.	8	\$159,000	418
Sanders Co.	6	\$182,500	184

LAND SALES FEBRUARY 2018

LOCATION	UNITS SOLD	MEDIAN PRICE	AVG. DAYS
Kalispell	13	\$100,000	339
Whitefish	8	\$112,250	266
C-Falls	5	\$165,000	401
Bigfork	7	\$62,000	199
Lakeside	2	\$225,000	98
Eureka	3	\$58,300	163
Lake Co.	10	\$39,000	358
Lincoln Co.	10	\$74,000	260
Sanders Co.	7	\$59,900	535

RESIDENTIAL SALES YEAR TO DATE 2018

LOCATION	UNITS SOLD	MEDIAN PRICE	AVG. DAYS
Kalispell	94	\$246,997	117
Whitefish	38	\$359,500	202
C-Falls	18	\$217,500	154
Bigfork	20	\$370,000	215
Lakeside	4	\$366,000	170
Eureka	7	\$260,000	290
Lake Co.	32	\$279,500	201
Lincoln Co.	24	\$174,000	370
Sanders Co.	16	\$187,000	182

LAND SALES YEAR TO DATE 2018

LOCATION	UNITS SOLD	MEDIAN PRICE	AVG. DAYS
Kalispell	30	\$100,000	260
Whitefish	24	\$156,250	350
C-Falls	12	\$117,500	273
Bigfork	16	\$64,900	244
Lakeside	3	\$75,000	140
Eureka	6	\$69,150	132
Lake Co.	18	\$40,000	325
Lincoln Co.	21	\$58,300	300
Sanders Co.	12	\$41,200	410

RESIDENTIAL SALES FEBRUARY 2019

LOCATION	UNITS SOLD	MEDIAN PRICE	AVG. DAYS
Kalispell	55	\$274,900	130
Whitefish	19	\$705,000	259
C-Falls	12	\$252,750	120
Bigfork	12	\$311,750	160
Lakeside	2	\$440,000	86
Eureka	4	\$305,750	227
Lake Co.	13	\$200,000	159
Lincoln Co.	17	\$223,000	233
Sanders Co.	10	\$214,500	161

LAND SALES FEBRUARY 2019

LOCATION	UNITS SOLD	MEDIAN PRICE	AVG. DAYS
Kalispell	8	\$70,000	588
Whitefish	8	\$300,000	307
C-Falls	8	\$62,500	330
Bigfork	5	\$63,000	498
Lakeside	4	\$127,500	246
Eureka	6	\$33,750	226
Lake Co.	7	\$46,500	265
Lincoln Co.	7	\$32,000	247
Sanders Co.	4	\$85,000	198

RESIDENTIAL SALES YEAR TO DATE 2019

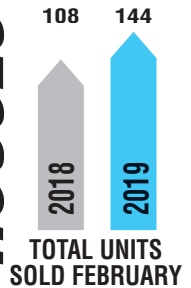
LOCATION	UNITS SOLD	MEDIAN PRICE	AVG. DAYS
Kalispell	106	\$269,750	128
Whitefish	40	\$540,140	216
C-Falls	26	\$298,382	133
Bigfork	18	\$311,500	185
Lakeside	5	\$350,000	108
Eureka	7	\$295,000	210
Lake Co.	28	\$213,125	192
Lincoln Co.	27	\$143,000	213
Sanders Co.	20	\$167,500	168

LAND SALES YEAR TO DATE 2019

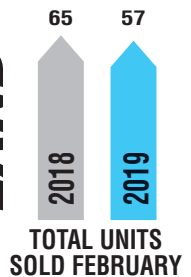
LOCATION	UNITS SOLD	MEDIAN PRICE	AVG. DAYS
Kalispell	20	\$71,500	460
Whitefish	19	\$210,000	213
C-Falls	11	\$65,000	277
Bigfork	13	\$73,667	512
Lakeside	7	\$130,000	270
Eureka	9	\$35,500	167
Lake Co.	11	\$54,863	311
Lincoln Co.	16	\$33,500	234
Sanders Co.	5	\$89,000	195



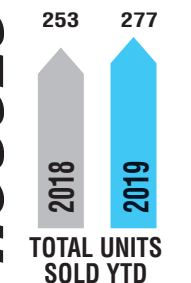
HOUSES



LAND



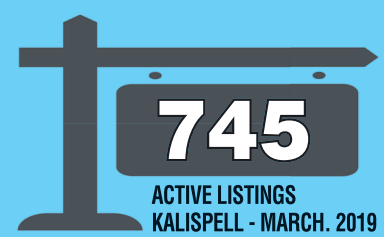
HOUSES



LAND



**MEDIAN SELLING PRICE
OF HOUSES SO FAR IN 2019**



745
ACTIVE LISTINGS
KALISPELL - MARCH. 2019

E&S Real Estate Group

at RE/MAX Home Again Realty

Gina Ellis & Patti Singer / REALTORS
Everything we touch turns to **sold!**

Mobile: 406.260.2485
Toll Free: 1.800.551.3184
406ellisproperties@gmail.com
pattisinger2009@gmail.com



8 WYNDOVER HILL DRIVE, KALISPELL
SPECTACULAR VIEWS ABOUND FROM THIS HOME! This is a fantastic opportunity to live right in town and close to the action with an executive style home and room to roam. This home offers 4 bedrooms, 3 bathrooms and features such as beautiful gas fireplaces in the living room and master bedroom. Granite, hardwood, stainless steel high end appliances, office space, living/media room with wet bar, and a versatile shop build in 2014 with over 2000 square feet! **\$598,000. MLS #21901618**



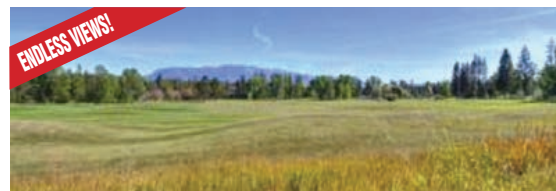
1053 ST. ANDREWS DRIVE, COLUMBIA FALLS
RESORT HOME - SKI, GOLF, GLACIER PARK ALL MINUTES FROM YOUR FRONT DOOR! This breathtaking home delivers the environment dreams are made of! This stunning home has it all. 5 beds, 4.5 baths, 3600+ sq. ft. Absolutely impeccable. Open concept kitchen, dining and great room. Two masters on the main level with large windows & french doors that open onto the large covered terrace. The lower level features a great room with a bar, 3 beds, 2 baths, heated floors & a large covered patio which boasts a hot tub, fireplace & a water feature. The yard is completely maintenance free. **\$648,000. MLS #21900640.**



1320 CAMERON LANE, WHITEFISH, MT
This home is the perfect hideaway on 40 acres and now enjoy groomed ski trail just a mile away! This one of a kind home Designed by architect, Richard Smith, who imbues his Native American heritage into his designs, has named this home "Turtle Lodge". Designed to embrace the outdoors, the interior and north facing rooms have natural daylight delivered through skylights, to deliver the feel of being outside. With up to 4 bedrooms and a huge attached shop/studio or great room, there is space for everyone! Custom finishes throughout add to the character of Turtle Lodge in every room. Just 10-15 minutes from Whitefish, Turtle Lodge is a must see! **MLS #21810729 - \$1,200,000**



2315 9TH STREET WEST, COLUMBIA FALLS
240 ft of prime highway footage located on Hwy 2 in Columbia Falls with both Commercial and Residential opportunities. Property sits on 3.35 acres and includes a 4 bedroom, 1.5 bath home.
\$548,000. MLS #21807530.



315 GOLF COURSE DRIVE, COLUMBIA FALLS, MT
This fantastic private .25 acre lot with unobstructed golf course and mountain views is located in the Meadow Lake Estates Community, in Columbia Falls. A perfect place to build your dream home! This lot is wooded, private and this area has so much to offer. The #4 rated golf course in Montana, wonderful walking trails and a great neighborhood. **MLS #21810514 - \$74,800**

@ellisandsinger Everything we touch turns to **sold!**



One Call!
Now That's Convenient.



• **SALES**
• **SERVICE**
• **INSTALLATION**

**VOTED IN TOP 10% FOR ALL TRADES,
"BEST OF THE FLATHEAD" 4 YEARS IN A ROW.**

We can give you...

- ✓ The **Best Options** available with all services working together under one roof...
- ✓ We at Central want to handle all of your heating, cooling, plumbing and electrical needs, with **ONE Call!**
- ✓ Your comfort is our **CENTRAL** concern!

CENTRAL

HEATING • COOLING • PLUMBING • ELECTRICAL

406-756-6656

www.centralmt.com



**CENTRAL'S SEWER
AND DRAIN CLEARING
DIVISION**

**LIKE US ON
FACEBOOK!**



RESIDENTIAL • COMMERCIAL





There's Nothing Like Northland

From Hwy 93, west on Four Mile, south on Northland Drive
Prices starting in the \$390,000's



www.westcrafthomes.com

Westcraft Homes Sales Team
406.885.6081

Call TODAY for a Private Showing



Whether You Are Buying or Selling Make the "Smart" Choice!

Jackie Smart CRS, GRI

Office: (406) 676-8610 Cell: 261-6793

Check our website: westernmontanaland.com



42141 3rd Avenue East, Pablo, MT



\$79,475 • MLS 21806280

Historic 1952 Conoco Gas Station/Garage on old Highway 93 in Pablo. Petroliana collectors-this is your dream car cave in the rough. Car lift and compressor in place. 2 city lots with Pablo W & S. New electric Service mast.

NHN Rams View Lane, Ronan, MT



\$65,000 • MLS 21807822

Ideal location for a few animals, maybe a garden and some fruit trees. 5 acres west of Ronan off Songer Road. No covenants so if you are just looking for a place to park your motor home this could be for you. Power to the property and your own well has been drilled. All that's left is a septic system. Peaceful and quiet with awesome mountain views. CLA regarding the power.

10 Adams Street SE, Ronan, MT



\$150,000 • MLS 21813280

Classic, historic and highly visible commercial location available on the corner of Highway 93 and Adams Street in Ronan. Come and plan your next office or business venture in this 1,204 square feet on one level property with a central reception area, 2 office spaces a library/conference room.

53386 2nd Avenue West, Charlo, MT



\$109,200 • MLS 21814337

Large 4 bedroom, 1 1/2 bath home on 2 city lots in Charlo. 2 car detached garage, fenced yard and mountain views make this a great buy in "as-is" condition.

18889 Sweetgrass Lane, Arlee, MT



\$119,900 • MLS 21804357

Beautiful log home on forested 3.93 acres CSKT Home Site Lease Lot. (Must be a member of the Confederated Salish and Kootenai tribes to qualify for the Home Site Lease.) Convenient to new Gray Wolf Casino and all the amenities of Missoula.

47832 Mountain Estate Drive, Ronan



\$149,500. MLS #21902104

Fantastic 3 bedroom, 2 bath, manufactured home on a permanent foundation set on 1.2 acres east of Ronan on a paved road. Private well and septic system. Electric forced air furnace and a wood stove for secondary heat. Large deck with beautiful views of the Mission Mountains.

Nhn 4th Ave SE Ronan, MT



\$29,900 • MLS 21805510

60 x 127 Building lot on the east side of Ronan. Owner is in the process of having it removed from Tribal Trust Status. The property can be bought in trust by CSKT members only or non tribal persons can purchase in fee status. Owner is motivated to get this property sold.

32834 Deer Park Lane, Polson, MT



\$95,000 • MLS 21609195

41 acre tract in the beautiful Deer Park Subdivision. This lot is fairly steep but has some beautiful building sites on it. Mission Mtns, Mission Valley, Polson and Flathead Lake Views from the upper portion of the tract.

Hwy 93 North, St. Ignatius



\$135,000 • MLS 21804252

27.23 Acres, Nice grass pasture or a ranch site with Hwy 93 frontage north of Saint Ignatius. Beautiful view of Mission Mountains and west to the Bison Range. Irrigation available, has been grazed in past.

335 Emory Road, Ronan, MT



\$375,000 • MLS 21900110

3 bedrooms plus a bonus room, 2 baths and a family room, 6.47 acres with a large fenced yard, deer proof fenced garden spot and several acres of pasture with good fencing, propane fireplace, Detached garage, pump house and irrigation to the property.

Highway 93 N, St. Ignatius, MT



\$97,500 • MLS 21804694

Views of the Bison range and the flathead river are a part of the charm of this property. Setting on a .54 acre lot above Dixon there are fruit trees, privacy and borders farm ground to the south. This 1998 single wide is move in ready.

THINK SPRING!
This is the time of year to think about listing your property. Give us a call and we can put together a marketing plan for your property.

Fall In Love With

MONTANA



4301 Star Meadows Rd | Whitefish
Lodge style home on 39+ acres
MLS# 21901768 | Offered @ \$575,900



CARMEN HOBSON

Touchstone Real Estate

406.871.8760

carmen@carmenhobson.com

RRE-BRO-LIC-16817



412 Soaring Pines | Kalispell
3 Bed + 2 Full Baths
MLS# 21901793 | Offered @ \$384,500

EXPERIENCE. TRUST. ADVENTURE

It should be easy and fun to find Montana property online.

That is why **www.carmenhobson.com** offers a user friendly and visually engaging platform with simple access to new listings, so you can be the first to know when a property match arises.



WWW.CARMENHOBSON.COM

YOUR TRUSTED ADVISOR IN MONTANA REAL ESTATE

INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED BY TOUCHSTONE REAL ESTATE.



Quality STEM education an important draw for homebuyers

Recently I participated as a judge in the Flathead County Science Fair for third-graders to high school seniors and was very impressed by the quality and quantity of young scientists and engineers in the Flathead Valley.

These kids were on their A-game. They knew their stuff and looked you right in the eye to tell you about it. Experiments ranged from the interesting to the incredible and I know that the judges were having a hard time selecting the handful of winners who will travel to Butte for the Regional Science Fair.

In Whitefish, the Center for Sustainability and Entrepreneurship is preparing students for “college, career and citizenship” with their programs in energy, agriculture, forestry, natural resources and entrepreneurship. This unique program starts with the youngest of students and engages them until graduation on all matters land, water, soil, plants and animals and climate. This can be seen as a pinnacle of STEM education opportunity!

The Maker Faire was another exciting STEM-based event that I had the pleasure of attending. Kids from most of the valley’s schools visited the fairgrounds on Friday where they could create things with their own hands, or watch others do amazing feats of science-derring-do. The second day of the Maker Faire was open to the public so that everyone could watch robots battle and apps being tested, plus see the construction of wonderful structures. The Expo building just buzzed with excitement and learning!

A Rocket Rally is taking an upward surge in participation and popularity. A one-woman production, rocket scientist Alison Godfrey, has been working with 8th-graders in seven rural schools teaching them the wonders and

diversity of aerospace engineering. The culmination of their efforts is seen in the skies above the Glacier High School’s soccer fields in May when these rockets are launched.

Another notable event in May is “Expanding Your Horizons,” a one-day symposium at FVCC for middle school girls showing them the exciting and diverse experiences STEAM careers have to offer. (They add “art” into the program as it is an important creativity element, hence the addition of the “A.”)

What does STEM education have to do with real estate and being a Realtor? It’s simple ... people will want to move here because we have these innovative programs for their kids. Those who already live here will be pleased that their kids are getting the same high-tech opportunities that other areas offer. We need to continue to promote and augment our STE(A)M programs, or we will be missing out on opportunities to help our economy grow.

Not everyone moves here for the beautiful scenery, skiing and wildlife. We have to keep in mind that those who bring jobs to the valley are often coming from areas that offer a robust slate of STEM programs. I recently listened to a consultant point out that many towns across the United States can offer what the Flathead has, there are others that can match us for lakes, mountains and recreation potential. We need to make sure that we can close the deal by showing off these inventive, thought-producing and awe-inspiring programs for those looking to move here, as well as for our own Flathead Valley students.

The more that Realtors can promote and participate in these programs, the more vibrant and flourishing the Flathead will become!



We need to make sure that we can close the deal by showing off these inventive, thought-producing and awe-inspiring programs for those looking to move here, as well as for our own Flathead Valley students.



RESIDENTIAL/LAND LISTINGS

BEAR HOLLOW SUBDIVISION



NEW CONSTRUCTION

TO BE BUILT! Pictures of similar model. (Garage to be reconfigured for front entry from street.) Ranch style home w/rocking chair front porch in country setting located in Bear Hollow Subdivision. Sit out on your covered deck nestled in the trees and watch the wildlife. Home boasts 1,500 sq. ft., 3 bedrooms, 2 baths w/attached double garage. Vaulted ceilings, spacious living/dining/kitchen area, master ensuite, master bath w/double sinks, soaking tub, separate shower and large walk-in closet. Broker interest. MLS#21811797 For land only, see MLS#21810377 Call DJ Walker (406)250-2487 or Kris Fennell (406)253-2200.

\$299,900

LAKE SIDE LOCATION



NEW CONSTRUCTION

TO BE BUILT! Pictures of similar home. 4 bed, 2 bath, 3 car garage. Open concept, vaulted kitchen, living, dining area. Granite counters, upgraded cabinets and more. Choose your colors and finishes. Broker interest. MLS# 21804504 Call D.J. Walker 406-250-2487 or Julie Pisk 406-253-0831

\$349,900

LOG HOME ON 20 ACRES



PRICE REDUCED

Wonderful private setting just off Haskill Basin Road with a lovely log home all set on 20 acres. Only a few minutes from Whitefish. Live in this cozy log cabin while you build your dream home in the woods! The home has one bedroom, a loft and a 3/4 bathroom. Man-made pond in front of home with a fire pit to enjoy the Montana evenings! The home, the garage and the shed have just been restained and a new deck was just built on this Montana log cabin! The septic permit is for 5 bedrooms. Washer and dryer are included. MLS# 21810138 Call Rick McCamley 406-253-9679

\$619,000

BIGFORK LOCATION



NEW CONSTRUCTION

To be finished February 2019! (Photos of similar model) 4 bed, 3 bath, 3 car insulated garage ranch style home w/ finished basement. Features heat pump for heating and A/C, plus propane gas fireplace. Kitchen includes granite, staggered-height cabinets, tile backsplash, gas range and more. Main level master has walk-in closet, free-standing soaker tub, 5 foot tile shower and dual sinks. Basement level includes 1 bedroom, a full bath and spacious rec room. Nestled in the trees on a large .82 acre lot with common area buffer on two sides. MLS# 21814659 Call DJ Walker 406-250-2487 or Kris Fennell 406-253-2200

\$399,500

BIGFORK LOT



NEW CONSTRUCTION

TO BE BUILT! Pictures of similar model. Open concept vaulted floor plan featuring a spacious kitchen with pantry and island. Granite counter tops and propane gas fireplace. Efficient heat pump provides A/C in the summer. Still time to choose colors. Broker interest. Plans and specs subject to change without prior notice. MLS#21812570 Call DJ Walker (406) 250-2487 Kris Fennell (406) 253-2200

\$393,700

HOME ON 6.57 ACRES



PRICE REDUCED 20K

You'll want to check out this 3 bed, 2 bath, 2-car garage home nestled on horse friendly 6.57 treed acres just south of Creston. Includes a 28x36' insulated shop for all of your toys. Updates include a new roof (2015), large composite deck (2016), new carpet, interior paint, cooktop and more. Master includes a jetted tub, walk-in closet and small patio off of the bath with a hot tub. Current exercise room could be den/craft room or additional bedroom. Includes electric, wood and propane heat sources. Small fenced area for pets. Call DJ Walker 406-250-2487 or Kris Fennell 406-253-2200

\$384,500

COMMERCIAL OPPORTUNITY



NEW LISTING

Professional office building with high-end finishes. Offered as a package that includes additional adjacent lot to the west - currently used as a parking lot with fenced side yard, but has potential for development. Building plans available to interested parties. Includes 1,920 sq. ft. with a spacious reception area and 4 separate office/multi-purpose spaces. Also offered without adjacent lot: MLS# 21900335. Call DJ Walker (406)250-2487 or Kris Fennell 406-253-2200

\$500,000

BIGFORK TRI LEVEL ON .72 ACRES



TO BE BUILT! (Photos of similar model) Popular tri-level plan features 4 bedrooms, 2 baths, and attached two car garage all on a partially wooded .72 acre lot. Buyer has opportunity to choose colors and finishes. Broker interest in project. MLS#21900634 Call DJ Walker 406-250-2487, or Kris Fennell 406-253-2200

\$312,000

BEAR HOLLOW LOT



Level, treed, cul-de-sac building lot in Bear Hollow subdivision, 1.5 miles north of Bigfork. Easy access off Highway 35 onto paved, private street with sewer, water, electric, natural gas and telephone utilities street side. Sewer hookup fee has been waived. MLS# 21810377 Call DJ Walker 406-250-2487

\$59,000

HOME ON 20 SPLITTABLE ACRES

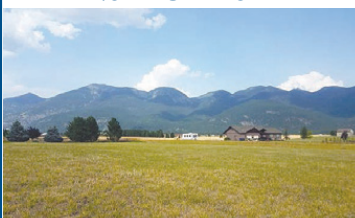


ANOTHER REDUCTION

Custom 4 bed, 3.5 bath, 2-car garage on 20 private acres nestled in the foothills. Kitchen features Alder cabinets, granite countertops, high-end appliances. In-floor radiant heat, wood stove, and a high velocity heat pump for heat & summer A/C. Gorgeous views. Covenants allow splits down to 5 acres in size. Owner financing available. MLS# 21804710 Call DJ Walker 406-250-2487

\$749,500

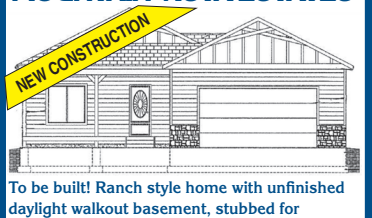
.82 ACRE LOT



Sweeping Rocky mountain views from one of the nicest lots in sought after Quail Ridge, in the Creston area of the Flathead Valley. Ready to build your dream home, with covenants in place to protect your investment. Community water. Possible owner financing. Build now, or grab this lot for the future, at today's prices. Call Mary Kay 406-250-4930 or Kris Fennell 406-253-2200

\$89,900

MOUNTAIN VISTA ESTATES



NEW CONSTRUCTION

To be built! Ranch style home with unfinished daylight walkout basement, stubbed for additional bath. Terrific view lot with views of Big Mountain, the Swan Range and into Glacier Park 3 bed, 2 bath, 2 car garage. Convenient to the bypass, the hospital and North Kalispell shopping. Buyer can choose colors and finishes. Broker interest in project.*Finished basement option available for \$376,900. Call DJ Walker 406-250-2487, Kris Fennell 406-253-2200 or your real estate professional. MLS#21901834

\$335,900



PHIL NEUARTH
Broker
249-7071



D.J. WALKER
Broker
250-2487



MARY KAY MYETT
Broker
250-4930



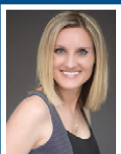
BOBBIE VLASAK
Broker
253-1637



KRIS FENNELL
Realtor
253-2200



RICK MCCAMLEY
Realtor
253-9679



SUMMER HAWKINS
Realtor
541-520-8727

RESIDENTIAL/LAND LISTINGS

WHITEFISH HOME + SHOP



NEW CONSTRUCTION

TO BE BUILT! (Photos of similar model) Popular tri-level plan features 3 bedrooms, 2 baths and a den/tv room for entertaining. Features a heat pump for year round heating AND cooling. Includes attached two car garage as well as a newly finished 28x32' detached, insulated, heated garage/shop with two overhead doors and attached carport. Plenty of room to store all your toys. Includes 400 amp service, heated 1/2 bath and loft level for storage or future development. MLS#21814358
Call DJ Walker 406-250-2487

\$422,500

BIGFORK 2-STORY ON .75 ACRES



TO BE BUILT! (Photo of a similar model) New 4 bed, 2.5 bath, two-story home on 3/4 acre treed lot. Includes attached two-car garage. Main level master suite. Upper level rec room. Buyer has opportunity to pick colors and finishes! Conveniently located just north of Bigfork! Broker interest in project. MLS#21900633 Call DJ Walker 406-250-2487, Kris Fennell 406-253-2200

\$320,700

LAND OPPORTUNITY



10+ acres of RA-1 zoned (low density residential apartment) property located in one of Kalispell's fastest growing areas. Close to all city amenities with great exposure adjacent to the bypass. MLS#324003 Call DJ Walker (406)250-2487

\$750,000

9 ACRE LOTS IN REXFORD



4 nicely treed lots (9 acres each) that back up to Forest Service land with paved access. Light covenants, septic approved and power close by. Call Bobbie Vlasak 406-253-1637 MLS# 21809861, 21809862, 21809863, 21809864

\$79,900

AIRPLANE HANGAR



54' X 50' hangar located at Glacier Int'l Airport. 48' X 14' hangar door. Includes 3/4 bath. Land is leased from FMAA for \$254/month. MLS#21703801 Call DJ 250-2487

\$159,900

20 ACRES IN KILA

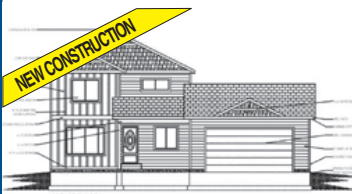


OWNER FINANCING

Very private end of the road 20 acre parcel. Power approx 75 yards from property. Some open building sites with beautiful mountain views. No zoning or covenants. Recommend 4 wheel drive once on the property. MLS# 21813275 Call DJ Walker 406-250-2487

\$149,500

MOUNTAIN VISTA ESTATES



NEW CONSTRUCTION

TO BE BUILT! New Construction 5 bed, 2.5 bath 2 car garage in the newest phase of Mountain Vista Estates. Efficient heat pump system for heat and A/C. Convenient to the bypass and North Kalispell shopping. Buyers choice of colors and finishes. Broker interest. Call DJ Walker 406-250-2487, Kris Fennell 406-253-2200 or your real estate professional.

\$374,900

WHITEFISH HOME + SHOP



NEW CONSTRUCTION

TO BE BUILT! (Photos of similar model) New 3 bed, (+ den/office) 2 bath, 2 car garage, two-story home. Features a heat pump for year round heating AND cooling. Includes attached two car garage as well as a newly finished 28x32' detached, insulated, heated garage/shop with two overhead doors and attached carport. Plenty of room to store all your toys. Includes 400 amp service, heated 1/2 bath and loft level for storage or future development. MLS#21814359 Call DJ Walker 406-250-2487, Kris Fennell 406-253-2200

\$444,500

Mountain Vista Estates

Located in Kalispell off of Three Mile Drive

PHASE 4A/4B

- 3 Lots Available
- Bordering Common Area
- Underground City Services
- Convenient to Bypass

PHASE 4C

- Available Now!
- 4 Single Family Residence Lots
- 1 Lot Borders Common Area



LOT 4, PHASE C

NEWLY COMPLETED



\$291,900

- West Valley & Glacier High School Districts
- School Bus Services
- Close to Shopping
- Available for immediate Occupancy



For more information call:

D.J. Walker
(406)250-2487

Phil Neuharth
(406)249-7071

Office
(406) 755-6789

Premiere
Real Estate Professionals, Inc.

Tell a story with your home decor

By JOSEPH PUBILLONES



PLAN YOUR home decor carefully, as it is the backdrop to your life every day.

Like the work of the novelist, setting up a house involves telling a story. The space you inhabit is an extension of you, and to get to know you better, there are interior designers who may need three or four interviews with their clients to get to the heart of the project. What are you expecting from your designer? Many times, we believe that we want a space with certain characteristics, and then it turns out that our preferences are different.

Although many consider interior design frivolous, the truth of the matter is that your home is usually one of your largest investments and it is the backdrop for every activity in your life. Making mistakes is not a good way to start a project. That's why I advise you to be realistic with your goals. Each room is like a chapter in a book, and every selection offers a nuance and gesture of your story. Here are some suggestions to make your story a best-seller.

DO YOUR HOMEWORK

Pick up some home magazines and try to find the design of your dreams. Make notes on what you

like in an image. Take your time to plan properly; rushed decisions make for poor results. And although your instincts can guide you, your ideas can be polished throughout the design process. Thus, the result will be a perfect mix between what you wanted and what you have learned during the long "journey."

BRIGHT CLOSE-UP

Look at all your project materials in several lights to know if they are the ideal selections. For example, when you see a house by day and then by night, it changes completely. Sometimes, the tones of the walls appear to be different. It is important to check the colors in natural light or in overhead light.

ARE YOUR MATERIALS HOT?

You know when you enter a room and sense a cozy feeling? Everything is in the warmth of the materials. Surely, the first thing that comes to mind is wood. Well, you're not wrong. Psychologically, earthy materials such as woods and stones are grounding and have a subliminal way of making us feel relaxed

and warm. Of course, textiles also play a role in making a room -- for instance, warming wools in winter and linen for when temperatures start to rise.

ZERO-MILEAGE DECOR

Whatever style you want to apply to your home, you can always use local materials. If you live in Paris, then let it be known that you live in Paris. Using local materials helps ensure that your home feels unique.

FINE FINISHES

Your selection of materials and finishes is not like ordering fast-food. Finishing touches have the ability to change the perception of materials and create a sense of place. For example, in a city setting, polished marble might feel appropriate and have a certain air of elegance. The same marble in a honed matte finish can speak of being at the beach or evoke a country house feeling.

Joseph Pubillones is the owner of Joseph Pubillones Interiors, an award-winning interior design firm based in Palm Beach, Florida.



Great VRBO
rental history!

836 St Andrews Drive, Columbia Falls

3 Bedrooms • 3.5 Bathrooms + loft • Custom Villa
Main floor master w/deck & hot tub
Complete w/furnishings. MLS# 21802792

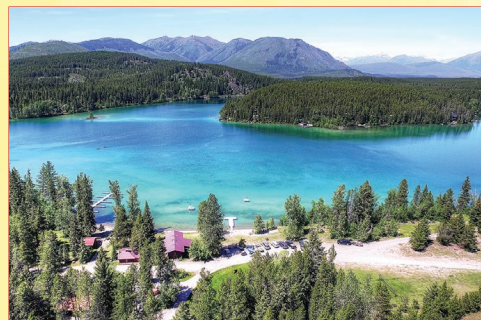
REDUCED \$475,000



116 Inverness Ct, Columbia Falls

3 Bed • 5 Bath • 2814 sq ft custom home on .38 acres • Hard-wood floors, solid wood features throughout • Master suite on main; guest suites w/balconies • Bonus room above 2-car garage w/half bath • Golf Course & Mtn Views! MLS #21701511

\$659,000



540 Belton Stage Rd, W. Glacier

• MT Legacy Property – Lake Five Resort • 17+ acre hideaway with 1400+ lineal feet on the South Shore of Lake Five • Resort includes cabins, RV hookups, guest services • Breathtaking views of Glacier National Park! MLS #21804527

\$14,141,414.14



1032 8th St. W., Columbia Falls

4 Bedrooms • 2 Bathrooms Ranch w/full basement
• Full remodel 2018 • 2 stone fireplaces
• Fenced yard - A must see! MLS #21811813

REDUCED \$299,900



477 - 5th Ave EN, Columbia Falls

3bd/2ba classic ranch-style home 1308 sq ft, with single-car garage w/work area Multiple upgrades, 8x14 garden shed Fire pit, fenced yard. MLS #21901334

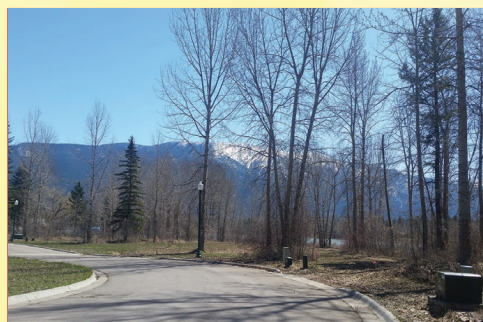
\$240,000



567 Hwy 93 N, Eureka

1.98 acres, last undeveloped land on Hwy 93 corridor, 2 MDOT access, public utilities at boundary; add'l acreage available. MLS #21806530

\$379,000



69 Cedar Pointe Loop (Lot 11), Columbia Falls

.18 acre, level single family building lot in Cedar Pointe Estates; walking trail around river; mountain views, close proximity to all community events. MLS #21806560

\$69,000



MOTIVATED
SELLER

3550 Autumn Ct., Kalispell

4Bd/2ba split level, 1880 sf home, .56 level acres, quiet cul-de-sac, 2 detached 2 car garages, fenced yard central location with Southern views.

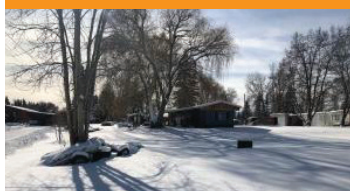
\$292,000



Spectacular Lots!

Vacant Lots in the Meadow Lake Golf Community
MLS #21708396, 21701510,
21708400, 21811691

Starting at \$119,000

KALISPELL

130 Poplar Drive
\$80,000
 mls#21901983
 0.49 ac.
 Jacquelyn Hupp
 Keller Williams Realty Northwest Montana
 (406) 752-4700

KALISPELL

723 5th Unit 214s East Avenue
\$115,000
 mls#21901975
 0.00 ac.
 Lisa Lorge
 National Parks Realty of Montana, LLC - WF
 (406) 862-8400

KALISPELL

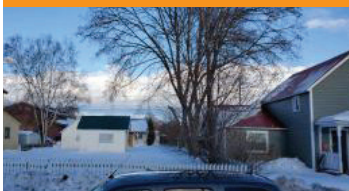
62 6th West North Avenue
\$159,900
 mls#21901779
 0.16 ac.
 Orlin Gravelle
 Glacier Real Estate of Montana
 (406) 752-1555

KALISPELL

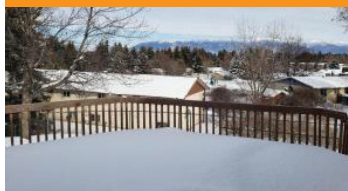
87 Hawthorn West
\$165,000
 mls#21901684
 0.03 ac.
 Christy Ann Ridgway
 Keller Williams Realty Northwest Montana
 (406) 752-4700

KALISPELL

311 Kelly Unit A2 Road
\$168,000
 mls#21902639
 0.00 ac.
 Terry S Burbach
 Keller Williams Realty Northwest Montana
 (406) 752-4700

KALISPELL

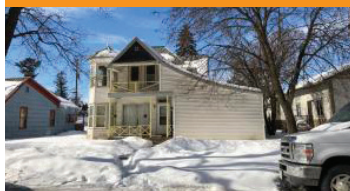
329 3rd West Street
\$174,000
 mls#21902650
 0.16 ac.
 Joseph Burks
 eXp Realty - Kalispell
 (406) 272-5357

KALISPELL

232 Farview Unit 4 Drive
\$184,500
 mls#21901738
 0.11 ac.
 Mitch Heuer
 Kelly Right Real Estate of Montana, LLC
 (509) 489-7000

KALISPELL

23 Teton Street
\$189,000
 mls#21901892
 0.12 ac.
 Alan Semp
 Keller Williams Realty Northwest Montana
 (406) 752-4700

KALISPELL

212 7th West Avenue
\$189,900
 mls#21902623
 0.16 ac.
 Tim Carter
 Chuck Olson Real Estate, Inc.
 (406) 752-1000

KALISPELL

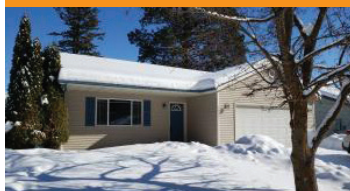
422 Kings Way
\$209,500
 mls#21901864
 0.46 ac.
 Roberta (Bobbi Jo) White
 Keller Williams Realty Northwest Montana
 (406) 752-4700

KALISPELL

126 Bing Court
\$210,000
 mls#21902469
 0.07 ac.
 William Friedner
 Glacier Sotheby's - Whitefish
 (406) 863-3060

KALISPELL

1120 4th West Avenue
\$224,900
 mls#21901988
 0.24 ac.
 Debra Mills
 Montana Brokers, Inc
 (406) 758-4747

KALISPELL

2033 Harmony Court
\$225,000
 mls#21902133
 0.12 ac.
 Janice Erickson
 Keller Williams Realty Northwest Montana
 (406) 752-4700

KALISPELL

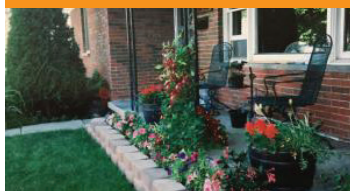
528 10th West Avenue
\$229,000
 mls#21902266
 0.20 ac.
 Kayla Shields
 Keller Williams Realty Northwest Montana
 (406) 752-4700

KALISPELL

1951 Bluestone Drive
\$230,000
 mls#21901924
 0.18 ac.
 Kayla Shields
 Keller Williams Realty Northwest Montana
 (406) 752-4700

KALISPELL

162 5th East North Avenue
\$235,000
 mls#21902454
 0.16 ac.
 Patrick Pacheco
 Clearwater Montana Properties - Bigfork
 (406) 837-1090

KALISPELL

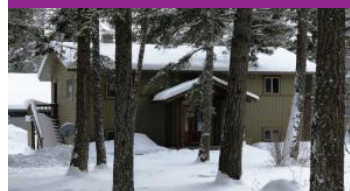
219 10th West Avenue
\$239,900
 mls#21902318
 0.16 ac.
 Karen K. Haarr
 Montana Brokers, Inc
 (406) 758-4747

KALISPELL

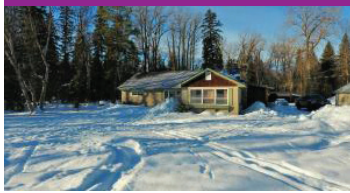
1864 North Belmar Drive
\$250,000
 mls#21902253
 0.16 ac.
 Sandy OConnell
 PureWest Real Estate - Lakeside
 (406) 844-6050

BIGFORK

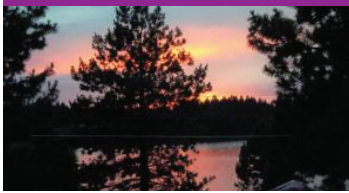
28645 Larch Lane
\$219,900
 mls#21901774
 2.66 ac.
 Jessica McClarty
 PureWest Real Estate - Lakeside
 (406) 844-6050

BIGFORK

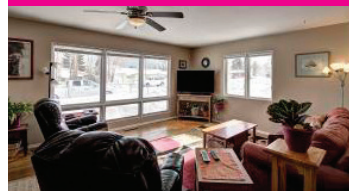
750 La Brant Road
\$269,500
 mls#21901674
 1.00 ac.
 Patrick Pacheco
 Clearwater Montana Properties - Bigfork
 (406) 837-1090

BIGFORK

23197 Mt-83
\$280,000
 mls#21902082
 1.10 ac.
 Seth Price
 Clearwater Montana Properties - Bigfork
 (406) 837-1090

BIGFORK

605 Echo View Drive
\$295,000
 mls#21902135
 0.92 ac.
 Kayla Chamberlain
 Keller Williams Realty Northwest Montana
 (406) 752-4700

COLUMBIA FALLS

534 7th West Avenue
\$225,000
 mls#21901848
 0.22 ac.
 Lindsay Smith
 Engel & Volkers WF Whitefish
 (406) 730-8582

COLUMBIA FALLS

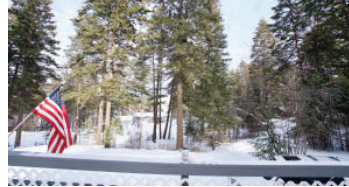
1243 Wildcat Drive
\$248,700
 mls#21902599
 0.07 ac.
 Jennifer Arterbury
 PureWest Real Estate - Whitefish
 (406) 862-4900

COLUMBIA FALLS

58 Martha Road
\$250,000
 mls#21902549
 0.20 ac.
 Rebecca Kovarik
 PureWest Real Estate - Kalispell
 (406) 751-5600

COLUMBIA FALLS

1827 10th West Avenue
\$268,900
 mls#21901943
 0.22 ac.
 Susie Alper
 PureWest Real Estate - Kalispell
 (406) 751-5600

LAKESIDE

106 Brass Road
\$229,900
 mls#21901876
 0.57 ac.
 Melissa Santa
 RE/MAX Glacier Country
 (406) 257-8900

WHITEFISH

104 Colorado Unit G Avenue
\$218,000
 mls#21902148
 0.00 ac.
 Michael Anderson
 National Parks Realty of Montana, LLC - WF
 (406) 862-8400

WHITEFISH

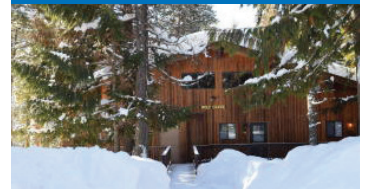
1380 Wisconsin Avenue
\$221,000
 mls#21702730
 0.00 ac.
 Sean Averill
 PureWest Real Estate of Whitefish
 (406) 862-4900

WHITEFISH

570 Park Avenue
\$249,999
 mls#21902518
 0.16 ac.
 Chap Godsey
 RE/MAX of Whitefish
 (406) 863-3400

WHITEFISH

1403 Floral Park Lane
\$274,000
 mls#21901712
 0.00 ac.
 Monte Gilman
 RE/MAX of Whitefish
 (406) 863-3400

WHITEFISH

110 Cedar Way
\$295,000
 mls#21902415
 0.00 ac.
 Angie Friedner
 Glacier Sotheby's - Whitefish
 (406) 863-3060

WHITEFISH

405 West 8th Street
\$274,900
 mls#21901114
 0.15 ac.
 Stephanie Sunshine
 National Parks Realty of Montana, LLC - Whitefish
 (406) 862-8400

WHITEFISH

642 Columbia Avenue
\$299,000
 mls#21901891
 0.15 ac.
 Vernon Kiser
 RE/MAX Mountain View
 (406) 892-3000

WHITEFISH

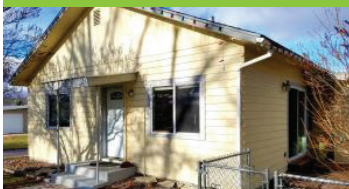
6300 Locarno Unit H Drive
\$299,900
 mls#21902078
 0.00 ac.
 Jeffry Swenson
 PureWest Real Estate - Whitefish
 (406) 862-4900

MARION

207 Round Mountain Loop
\$220,000
 mls#21901760
 5.53 ac.
 Ray Robinson
 Chuck Olson Real Estate, Inc.
 (406) 752-1000

LIBBY

1304 Airth Avenue
\$95,500
 mls#21902207
 0.13 ac.
 John Ague
 Irene Loveless Realty
 (406) 293-2725

POLSON

107 1st East Avenue
\$144,900
 mls#21901940
 0.16 ac.
 Kevin J Dantic
 Ink Realty Group
 (406) 728-8270

POLSON

12 West 6th Avenue
\$180,000
 mls#21901647
 0.16 ac.
 Gloria Califato
 Keller Williams Realty Northwest Montana
 (406) 752-4700

POLSON

1507 8th East Street
\$235,000
 mls#21902101
 0.16 ac.
 Glenda Buckwalter
 Engel & Volkers WF Polson
 (406) 872-2233

FOR FURTHER DETAILS ON THESE PROPERTIES GO TO WWW.NMAR.COM



DEAN BRIST, Realtor®
406.471.2000 Licensed in Montana

1830 3rd Ave. East, Suite 102 • Kalispell, MT
 deanbrist@kw.com
 www.kwnorthwestmontana.com

kw NORTHWEST
 MONTANA
 KELLERWILLIAMS REALTY



Buying or selling? Call me today for a Complimentary Analysis!
There's never been a better time!

229 SWISS DRIVE, KALISPELL

3 LOTS AVAILABLE



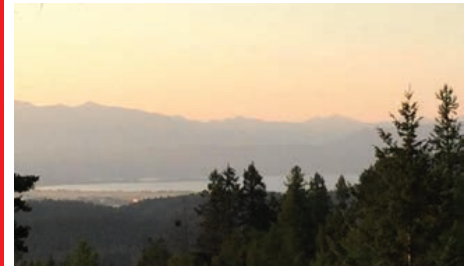
Great views from this one plus acre country building lot. Private water company supplies water to this lot for a monthly fee. Power close, septic approval and paved roads make it a very attractive lot to build your dream home. No HOA's.
\$69,900 MLS #21902368

1452, 1511 US HWY 2 WEST KALISPELL



Two connected parcels that create 8+ acres of possibilities. Includes over 300 ft. of Hwy. 2 frontage near the new 93 Bypass & Hwy. 2 intersection. **\$1,900,000 MSL#21813625**

OVERLOOK RIDGE, KALISPELL



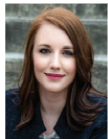
Outstanding valley views of Glacier Park, Rocky Mountains, & Flathead lake from this secluded building site. This 4.64 acre parcel has potential of being a great place to build your Montana retreat. It is conveniently close to recreational areas like Herron & Lone Pine Parks; Foy's & Flathead lake; Blacktail & Whitefish Mountain Resorts. There are several potential building sites and may be possible to build a couple houses on it. It has septic approval for one. Electricity & phone are on the property. Seller is a licensed MT Real estate agent. **\$169,900 MLS#21814637**

272123

It's time for a more permanent basecamp.

From mudrooms to man caves, a home loan from First Interstate Bank means your into-the-wild gear also has a forever home. For where you'll begin and end all your adventures—it's you and **FI** together.

Find out more at firstinterstate.com



ANNIKA HARRIS
 NMLS# 1352435
 (O) 406-751-2570
annika.harris@fib.com



SARAH SMITH
 NMLS# 991385
 (O) 406-883-8806
sarah.smith@fib.com



ERIC SCHMIDT
 NMLS# 1477825
 (O) 406-863-8851
eric.schmidt@fib.com



AMANDA KEELAND
 NMLS# 1416639
 (O) 406-751-2532
amanda.keeland@fib.com



First Interstate Bank

Member FDIC. Equal Housing Lender.



Go ahead.
Ask.



CREDIT UNION

parksidefcu.com

406.862.2652

Flathead

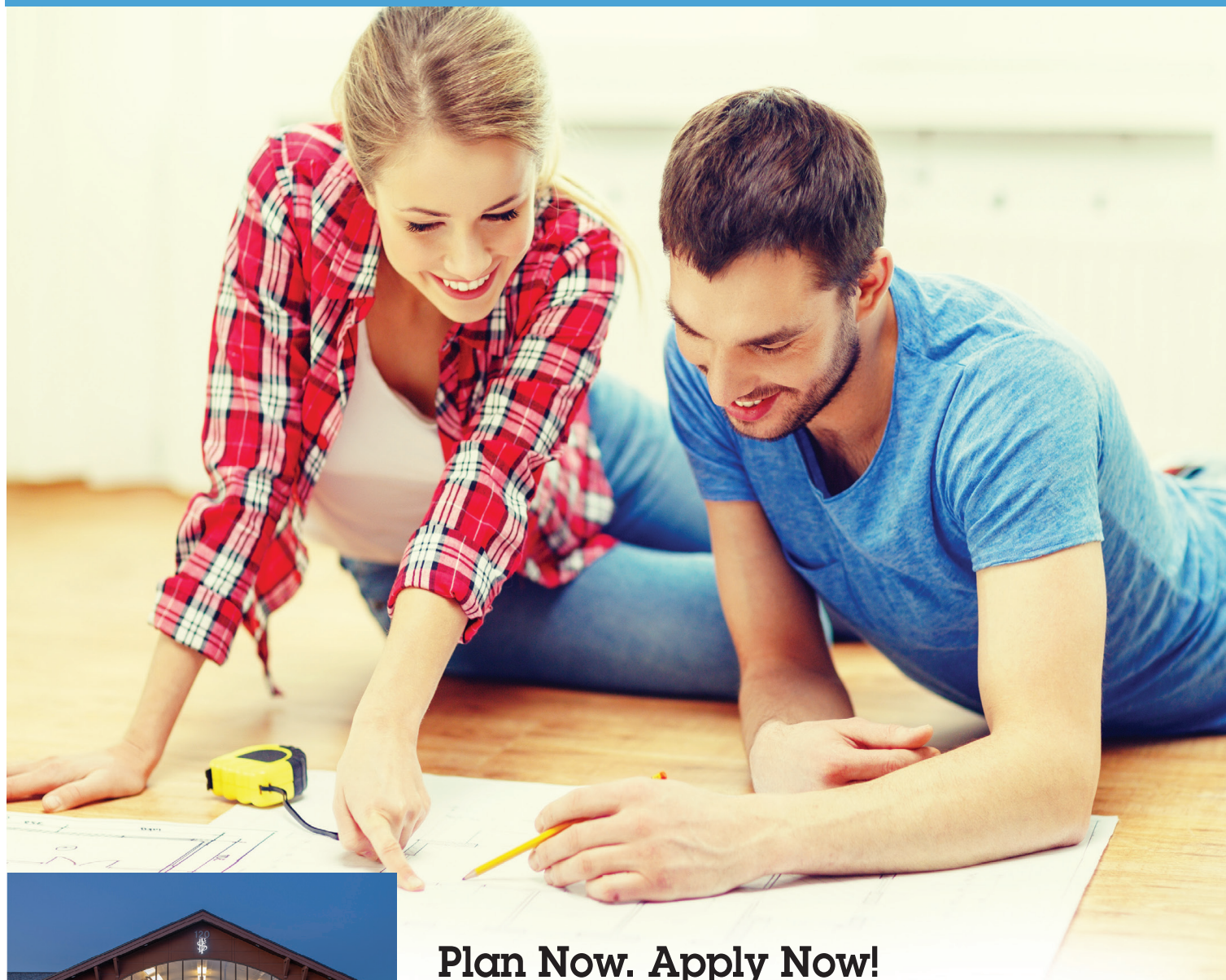
406.728.4475

Missoula



We like to say **Yes.**

Make Your Move!



**120 Hutton Ranch Rd
Kalispell
406.607.4240**



**Nine Western
Montana Locations
to Serve You.**



Plan Now. Apply Now!

Before you hire a contractor or visit with a realtor, talk with the local loan experts at Farmers State Bank. You get a trusted advisor with years of experience walking you through the application and approval process. Buying, building or remodeling, make your move to Farmers State Bank.

 **Farmers State Bank**
www.farmersstatebank.com

Your Montana Bank Since 1907