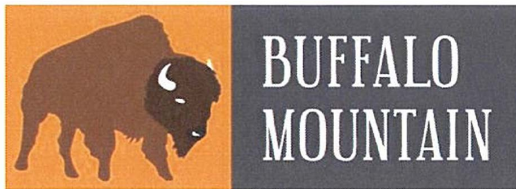


Architectural Design Guidelines

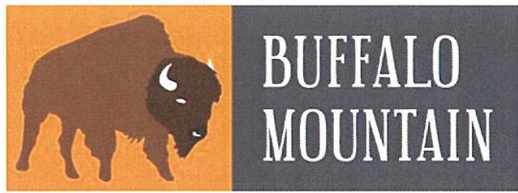
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Architectural Design Guidelines

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Architectural Design Guidelines Introduction

Welcome to Buffalo Mountain! We want to make sure you feel welcome and comfortable with your Homeowner's Association (HOA). The HOA Board is elected by the community to oversee the daily functions and financial responsibilities of the Association. The Board is also responsible for maintaining members' compliance with the established covenants and design guidelines of the HOA. They have specific provisions regarding what can and cannot be done on your property.

As a new property owner, you may already have some ideas on how you'd like to develop, build or improve your property. Please keep in mind, the Buffalo Mountain HOA has an Architectural Review Committee (ARC) that are dedicated to promoting an aesthetically appealing community through the conscientious development, re-evaluation and enforcement of our neighborhood's Architectural Design Guidelines and CC&Rs. The ARC monitors compliance with the Covenants, Conditions and Restrictions (CC&Rs) and the Architectural Design Guidelines (ADG) of Buffalo Mountain, and evaluates homeowner requests for exterior modifications to their property.

Before you begin the design of your new home and property or improvements to your existing property there are a few things you will need to be aware of. The purpose of this review is to protect our scenic environment and maintain the value of our homes. All modifications to the exterior of your property, including repainting with the same color, must be submitted to the ARC for approval before any work begins. If work is started without prior approval, the homeowner risks being cited for a covenant violation and may be required to alter or remove the changes at significant additional cost.

You should familiarize yourself with the following documents prior to designing your home or developing your property and submitting your project for architectural design review.

- Buffalo Mountain Architectural Design Guidelines (This document! Which includes the below)
 - Landscape Design Guidelines
 - Design Review & Approval Process
 - Architectural Design Review Requirements Checklist
 - Architectural Design Review Submission Forms
 - Fee Schedule & Requirements
 - Example of completed ARC Proposal
- Architectural Design Guideline Addendums (when applicable)
- Buffalo Mountain Declaration of Covenants, Conditions and Restrictions (CC&Rs)
- CC&R Addendums (when applicable)
- Water Right Agreement 2008
- Water Right Agreement 2005

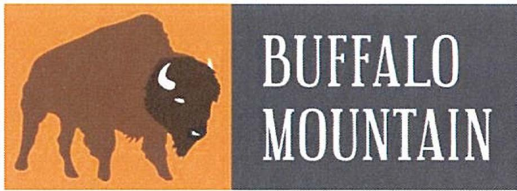
Below are the key Buffalo Mountain HOA and primary Buffalo Mountain ARC contacts, which you can reach out to with any questions or concerns regarding the Design Review Process or should you need assistance while building or improving your home and settling in.

BUFFALO MOUNTAIN HOMEOWNERS ASSOCIATION BOARD		
TITLE	NAME	EMAIL
President	Mark Flateau	flataulodge@gmail.com
Vice President	Kelly Howell	khowellmt@yahoo.com
Secretary/Treasurer	Nick Clark / Carla Ooyen	nickgclark@gmail.com / carla.ooyen@gmail.com

BUFFALO MOUNTAIN ARCHITECTURAL REVIEW COMMITTEE			
TITLE	NAME	PHONE	EMAIL
BMARC Primary Contact	Aimee Root	406-250-9836	aimee_neff@yahoo.com
BMARC Secondary Contact	Kelly Howell		khowellmt@yahoo.com

Section I

Community Overview



Section I – Community Overview

The Community of Buffalo Mountain

The Property

Buffalo Mountain is located roughly 3 miles west of Kalispell, in Flathead County of Northwestern Montana. It is approximately 10 miles northwest of Flathead Lake. The largest natural freshwater lake west of the Mississippi. The development is situated in a mountain ringed amphitheater with site features that include forested and open slopes, meadows, and pocket plateaus. The area was once the site of the historic Conrad Buffalo Ranch. Buffalo Mountain is now home to elk, deer, and a variety of forest loving animals.

The site has access off Smith Lake Road and is convenient to Kalispell via Highway 2. Buffalo Mountain's location creates an opportunity for casual country living in an attractive secluded location in the Flathead Valley.

The Community

The 120 acre (+/-) Buffalo Mountain site consists of 35 individual Homesites with approximately 94 acres of dedicated open space. Buffalo Mountain's Homesites range from 0.474 to 1.861 acres in size.

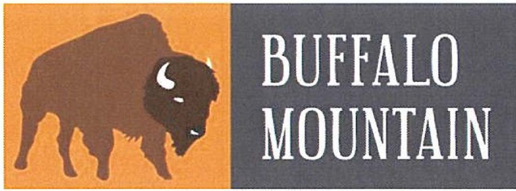
Buffalo Mountain enables residents to take full advantage of the natural beauty and the varied recreational amenities that the Flathead Valley area has to offer.

The Buffalo Mountain Homeowners Association

Membership

All Buffalo Mountain owners are enrolled as members in good standing of the Buffalo Mountain Homeowners Association (BMHA). Members are thereby subject to the Rules, Regulations, Covenants, Conditions and Restrictions (CC&R's) and By-laws of the Buffalo Mountain Homeowners Association (BMHA).

Please contact the BMHA for copies of all current CC&R's and Buffalo Mountain Homeowners Association By-laws. The membership similarly extends to any individuals leasing property from Buffalo Mountain Owners, as well as home builders who purchase lots for the purpose of constructing and selling custom homes. For more information about the Buffalo Mountain approval process please refer to Section V - Design Review and Approval Process.



The Purpose of the Design Guidelines

Overview & Intent

The purpose of the Design Guidelines is to provide a design criteria for every home within Buffalo Mountain. They are written to inspire innovative and creative home designs, and are not intended to be used as a restrictive set of rules. These Design Guidelines will remain flexible over time, creating the opportunity to respond to market trends, buyer's tastes, owners and community association needs, and economic market cycles.

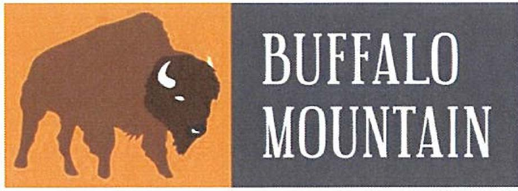
The Design Guidelines are provided to assist owners and their design teams from the initial design phase of a home through the final design review phase. The guidelines will also serve as a model for future design modifications or remodels to a home and property. The intent is to provide a viable framework from which owners can direct their builders and designers, while maintaining a high level of quality design and construction throughout the community.

Additionally, the Buffalo Mountain landscape standards create a theme that continues to visually unite the community, thereby supporting the community's natural rural character.

These Design Guidelines provide a means to preserve the individuality, quality, integrity and enduring value desired by every owner.

Section II

Community Character



Section II – Community Character

Community Character

The personality and identity of Buffalo Mountain is created by the consistent application of traditional architectural themes found throughout Northwest Montana. The themes are influenced by the native stone, timbers and colors found throughout the natural landscape.

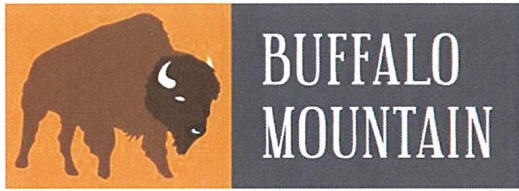
The community's casual, carefree recreational oriented lifestyle and amenities will be echoed and enhanced by the architecture of the individual homes.

The design and construction of every home will be a distinctive balance of traditional good taste, timeless character, and classic beauty.

The home designs should be based on the function of long-term practicality rather than passing trends. The partnership of materials, colors and landscaping integrated with the architectural details and elements will cause each home to emerge with a unique but traditional Rocky Mountain personality.

Section III

Architectural Design



Section III – Architectural Design

Residential Overview

The rich character and personality of Buffalo Mountain is established through the consistent application of the Northwest Traditional Style in concert with the Buffalo Mountain theme. The Northwest Traditional Style can be characterized as a blend of architectural styles typically seen throughout the Northwest and Midwest regions.

The primary goal of the Design Guidelines is to create homes with proper balance, form, massing and scale. The following basic criteria establishes the essential characteristics that will promote and support these goals:

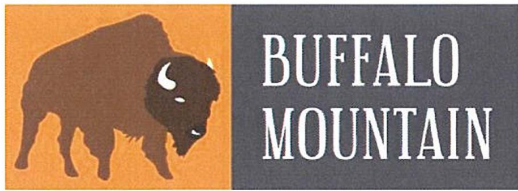
- "Four sided architecture" is required to ensure a pleasing view from all surrounding roads, homes and common areas. Large blank walls are not permitted.
- Balanced massing either symmetrical or asymmetrical.
- Strong roof forms either gabled, hipped or shed are preferred, various combinations of the three are encouraged.
- Entry statement strong yet proportional with the overall structure.
- De-emphasis of the garage from the street frontage.
- Long horizontal masses broken and counter balanced by strong verticals Reduction of two story impact at front orientations.
- Windows and doors of appropriate position and proportion within their facade elevation.
- Harmonious siting of the home with the site and surrounding landscape features colors of soft earth tones, accented with rich accent colors on doors, windows, shutters, etc. as appropriate.
- Accented trim and window colors are encouraged.
- Vibrant colors are discouraged.
- The use of duplicate or similar plans for more than one home in Buffalo Mountain shall require significant modifications to be approved by the BMDRC.

The dominance of nature over the built environment is one of the most important traits of the rural character. The home should be oriented and designed in response to the individual characteristics of the site and its context. Integration with the topography, trees, and vegetation as well as the other natural features of the land are of the utmost importance.

Siting, Massing & Scale

The following techniques are appropriate means to achieve proper massing, scale and proportion:

- Minimum 1600 sq. ft. enclosed, heated living area required for single story, 2000 for multi-story. Any size residence may be approved by the committee if in its opinion the design would not result in a residence that would be out of character with the other residences in Buffalo Mountain.
- Varied setbacks for various components of the home such as garage, 2nd floors, etc.
- Minimum of three facade element breaks at building front façade
- Minimum of two facade element breaks at the building rear
- Sensitivity to design and siting of the home among various ecological elements



Section III – Architectural Design

Roof Form & Configuration

- Primary roof forms of gables and hips with multiple combinations
- Shed roofs may be applied to main roof forms at porches, garages and entrances
- Primary and secondary roof pitches should range from 4:12 to 12:12 shed roof pitch may be reduced to 3: 12 when lower pitches are appropriate. Any proposed roof pitches that exceed these parameters require review and approval by BMDRC
- Punctuated roof planes with window or vented dormers
- Minimum of 24" eave overhang
- Roof materials of slate, dimensional architectural shingles, steel (approved brand, gauge, and color) and copper (accents)
- Refer to site specific information for max. roof heights
- Cupolas, etc. have a max. 24 square inch footprint
- Fascia depth should be a minimum of 8" with a shadow board

Building Exterior Treatment

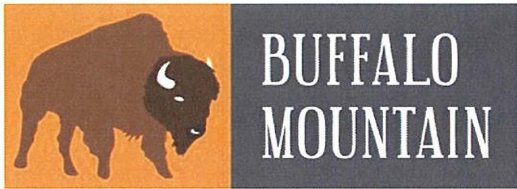
- Combinations of the various approved finish materials
- Use of material change (vertical and/or horizontal) to break up building form and create movement along the facade
- Walk-out basement walls should be treated as an extension of the main structure
- Exposed concrete footings are not permitted to exceed 12" above finished grade
- Stone and brick where applied should penetrate the ground plane, so as not to appear as a veneer.

Porch & Deck Details

- Deck support or porch columns must be in proportion to the application. Simple 4 x 4 wood columns are not permitted. Minimum 8 x 8 wood columns accentuated with trim, knee braces, etc. or columns in stone are strongly encouraged.
- All exposed wood finishes and detailing except deck surfaces, must be painted or stained
- Trex Brand decking and other similar decking surfaces are acceptable
- Broad porches with minimum of 6'-0" suggested

Entrance Forms

- Entries that are prominent and elegant within the home's context are suggested.
- Minimum width of 6'0" are suggested
- Columns of wood, brick and stone are encouraged, proportionate with the scale of the entry.



Section III – Architectural Design

Doors & Windows

Window Trim:

- 4" minimum for the jambs
- 6" minimum for top and bottom
- Front doors with sidelights and transoms
- Doors with lintels and border stone surrounds
- Accent windows in various shapes (round, oval, hexagonal, etc.)

Garages & Accessory Buildings

- Minimum 2 car garages are required for all homes
- Garages may be detached, integrated into the main structure, or connected to the home through the use of a breezeway, garden room or other similar elements.
- All garages must be fully enclosed, carports (for the purpose of permanent parking) are prohibited however porte-cocheres are permitted.
- To ensure a low profile from the street, the maximum recommended garage door height at the front elevation shall be 8'-0". Garage doors up to 9'-0" shall be allowed on side and rear elevations or where massing is appropriate for single 9' "Carriage House" style garage doors at the front elevation.
- Accessory buildings or out buildings are permitted within Buffalo Mountain, with the provision that all structures meet the required setback standards and are within the Homesite Coverage Area. Accessory buildings shall be limited to 1 per lot. Please contact the Buffalo Mountain Design Review Committee for Lot-specific accessory building criteria.
- Design of accessory buildings must reflect the selected architectural style of the home.
- Garage doors above 9' are subject to approval by the BMDRC

Materials & Color

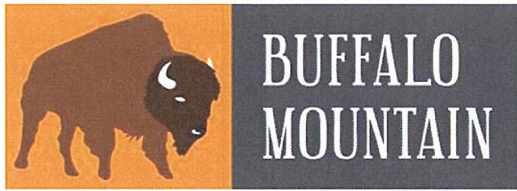
Building Materials

Building materials are an important element in maintaining the overall community character of Buffalo Mountain. The imaginative use of materials can be combined to create unique designs and distinctive individual identity to each home.

Additional materials may be permitted but are subject to review and approval by the BMDRC as described in Section V, Submittal and Approval Process.

Exterior Wall Surfaces

A combination of materials and/or finishes is encouraged. To ensure the general character of Buffalo Mountain, earth tones, natural finishes and off-white colors are the most appropriate.



Section III – Architectural Design

Appropriate Materials include:

- Natural stone such as sandstone, limestone, granite and flagstone are permitted, alternative stone selections will be subject to BMDRC approval (simulated, faux, or manufactured stone is permitted)
- Rubble, ashlar and flagstone stone cuts with joints raked, pointed or dry stacked
- Brick in earth tones
- Stucco is permitted, finishes and treatments to include smooth sand, light hand troweled and light dash coat (staging marks between coats of stucco, due to scaffolding and construction techniques must be avoided and should be cause for field rejection)
- Lapped, tongue and groove, ship lapped wood siding and board & batten
- Wood fascia, rakes, frieze and trim
- Exposed wood timbers & logs
- Pre-cast concrete or carved stone lintels and border stones (limited use primarily at entries)
- Wood shake wall materials
- Fiber cement siding and shingles
- Simulated wood decking - Trex Brand or approved alternative

Inappropriate Materials include:

- Brick accents in white, gray and red with white and pure gray
- Exposed concrete
- Vinyl
- Steel or aluminum
- Color-Lock
- Reflective finishes such as mirrored glass
- Laced (Spanish and adobe stucco finishes)
- Natural finish pressure treated wood such as columns, deck surfaces and railings, etc. (must be stained or painted)

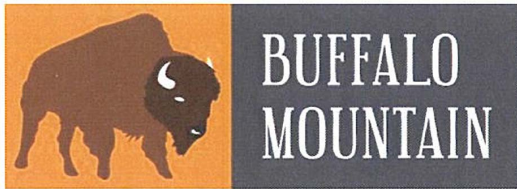
Roof Material

Appropriate Materials include:

- Asphalt (25 year min.), slate and concrete flat tile shingles
- Monochromatic roof shingles are not permitted, combinations of earth tones to gray tones are preferred
- Terr-a-cotta barrel roof tiles are permitted at ridges and hips only with the appropriate architectural style
- Steel (Brand, gauge and color subject to BMDRC approval)
- Use of copper, terne, zinc, etc. will be allowed as accents (bay/bow windows, porticos or finials), however, they are subject to approval by the BMDRC

Inappropriate Materials include:

- Flat roofs except at covered porches and entry porticos
- "S" tile
- All other roofing materials not mentioned are prohibited



Section III – Architectural Design

Windows, Doors and Garage Doors

- Wood windows are highly encouraged, however, clad aluminum and vinyl are permitted
- Natural aluminum is prohibited
- All tilted glazing will be subject to the approval of the BMDRC
- Wood tilt-up, barn style and sectional roll-up garage doors are permitted
- Garage door colors should blend into the overall color scheme to de-emphasize the prominence of the door

Paving Materials (Walkways & Driveways)

Appropriate Materials include:

- Natural stone (including but not limited to; sandstone, limestone, granite and slate)
- Flagstone
- Exposed aggregate (natural stone color)
- Natural stone unit pavers
- Colored concrete (natural stone color)
- Stamped concrete (natural stone color)
- Concrete
- Wire cut brick
- Fired clay pavers
- Pre-cast concrete pavers
- Decomposed granite (walkway only)
- Turf block, grass crete or equal (walkway only)
- Interlocking concrete paver
- Predominately black or gray colored pavement
- Asphalt

Chimneys

- Brick, stone, stucco and siding alone or in combinations, are acceptable
- Exposed metal flues are NOT acceptable
- Caps must be painted to complement the home

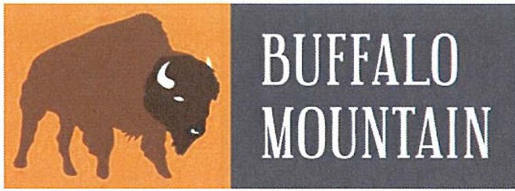
Skylights

Appropriate Materials include:

- Designed as an integral part of the roof
- Glazing must be clear, solar bronze, or white
- Framing material must be bronze or color to match the roof

Inappropriate Materials include:

- Reflective glazing
- Natural aluminum framing



Section III ~ Architectural Design

Flashing and Sheet Metal

- All flashing and sheet metal must be colored to match adjacent material

Patio Walls

- Patio walls are to be compatible with the materials, color & style of the home they are attached to.

Vents

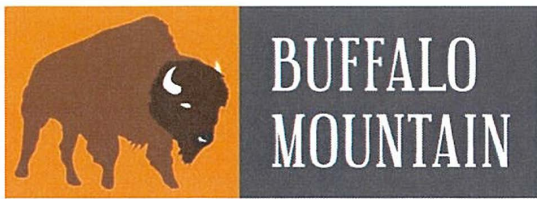
- All vent stacks and pipes must be colored to match the adjacent roof or wall material
- Vent stacks should be grouped on the side or rear of the roof when possible
- Vents should not extend above the ridge line

Antennas

- Owners may not install, or cause to be installed, any television, radio or citizen band (CB) antenna, satellite dish larger than 18" or other electronic receiving or broadcasting device on the exterior of any house or structure, exceptions are to be made on a case by case basis by the BMDRC
- Ground or structure mounted satellite dishes must be appropriately screened subject to the review of the BMDRC
- Any such installation must be in compliance with all applicable ordinances
- It is recommended that all homes be pre-wired for cable TV reception

Solar

- Solar panels are to be integrated into the roof design
- Panels and frames must be bronze anodized or to match the roof color
- Natural aluminum frames are prohibited
- Solar equipment is to be screened from the view of adjacent Lots and public streets



Section III – Architectural Design

Site Planning Criteria

Site Planning Design Principal

It is required that Owners leave a large portion of each lot undisturbed. Limiting excavation and disturbance to minimal areas around construction is important to maintain the natural forest or prairie ecosystems.

The Building Envelope- Setback Requirements

No Structure shall be placed within the described setback area on said lots. Any setback requirement may be waived or altered by the BMDRC on a case by case basis, provided that all setbacks will minimally be controlled by Flathead County regulations. Any waiver or alteration of a setback requirement as to any Lot shall not be deemed to have waived the setback requirement set forth herein, nor shall it set a precedent that in any way obligates the BMDRC to make subsequent waivers or make adjustments to setback requirements for other Lots. Setback requirements may be established that differ for specific Lots, or in the alternative, specific corner lots may be established as fronting a particular road. Such setback requirements are as follows:

Front Setbacks: The front setback shall be a minimum of 20 feet from the roadway.

Side Setbacks: Side setbacks shall be a minimum of 10 feet from the side boundary line of any Lot.

Back Setbacks: The back setback shall be a minimum of 20 feet from the back of the lot, opposite the fronting roadway.

Homesite Coverage Area

In order to maintain the Buffalo Mountain environment in as natural a state as possible, all lots are limited to a maximum finished overall lot coverage of 70%. This applies to all improvements including the building footprint, decks, patios, fenced or walled private areas, landscaping and paved areas, excepting driveways connecting parking/turnaround area to the street. Any areas outside the allowable Homesite Coverage Area disturbed in construction must be returned to natural condition. The proposed Homesite Coverage Area must be staked and approved prior to clearing.

Maximum Building Height

The maximum building height for homes and accessory buildings may be limited on certain Homesites. Please contact the BMDRC for lot-specific building heights. In no case may any building exceed 35' in height above natural grade.

Driveway Standards

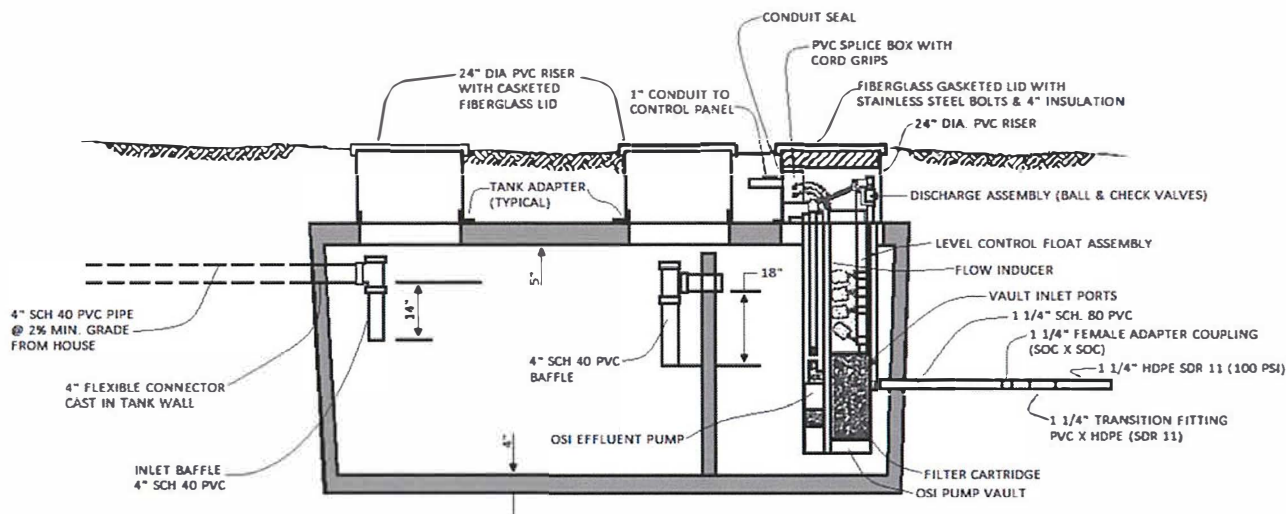
On Homesites where significant topography exists it is recommended that driveways be designed to follow the natural contours. Maximum driveway width from street to parking /turnaround area is 16'. Preferably this maximum width is maintained for 20' into the lot (lot dependent).

Driveway tie-in to the street must be made with clean lines and vertical cuts against the pavement. Regardless of the surface used, a "thickened edge" must be used against the street.

Individual Septic Tanks

Buffalo Mountain has a community "effluent only" sanitary sewer system. Each Owner is required to install an individual septic tank on their Homesite so that only effluent is discharged to the community system. All septic tank locations must be approved by BMDRC. See the following page for septic tank specifications.

SEPTIC TANK SPECIFICATIONS



2000 GALLON SEPTIC TANK/PUMP STATION (12'-8"L X 6'-4"W X 6'-0"H)

SCALE: NONE

**FOR LOTS WITH A PRESSURE SEWER SERVICE (PSS)*

PRESSURE SEWER SERVICE PUMP SYSTEM MATERIALS LIST FOR 2,000 - GALLON TANKS

COMPONENT	ORENCO SYSTEMS (OSI) MODEL
TANK:	2,000-GALLON, 2-COMPARTMENT (GLACIER PRE-CAST)
EFFLUENT PUMP:	P100512 (1/2 HP; 230 VOLT, 1 PHASE)
CONTROL PANEL:	S-2 (OPTIONS: RO; DS; TS; ETM; CT; PRL; PL)
PUMP VAULT:	PVU68-2425
FLOAT ASSEMBLY:	MF3AT - Y; B; R; W (HLA; ON; OFF; LLA/RO) 27V
DISCHARGE ASSEMBLY:	HV125BC
SPLICE BOX:	SB5
PUMP RISER:	RR24XX+L+12 WITH PRTA24 TANK ADAPTER (HEIGHT VARIES)
PUMP RISER LID:	FL24G:14 (4" INSULATION) & 4B [(4) 5/16" BOLTS]
SEPTIC TANK RISERS:	RR24XX WITH PRTA24 TANK ADAPET (XX= HEIGHT VARIES)
SEPTIC TANK RISER LIDS:	FL24G4B [(4) 5/16" BOLTS]

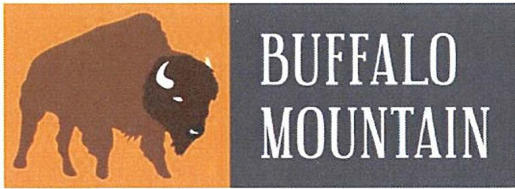
CONTROL FLOAT SETTINGS 2,000-GALLON TANKS

HIGH LEVEL ALARM:	12" BELOW INLET ELEVATION (28" BELOW TOP OF TANK)
PUMP ON:	15" BELOW INLET ELEVATION (31" BELOW TOP OF TANK)
PUMP OFF:	22" BELOW INLET ELEVATION (38" BELOW TOP OF TANK)
LOW LEVEL/REDUNDANT OFF:	24" BELOW INLET ELEVATION (40" BELOW TOP OF TANK)

**7" OF DRAWDOWN EQUALS TO APPROXIMATELY 77 GALLONS PER PUMPING CYCLE*

Section IV

Landscape Design



Section IV – Landscape Design

Community Landscape Concept

Overview

The goal of these landscape guidelines is to ensure that developed areas within Buffalo Mountain Harmonize and blend with, rather than dominate the natural environment or significantly change its color or texture. This sensitive approach to landscaping will help protect and preserve the wildlife And flora that contribute to the unique experience of living within the forest and prairie environment Of Buffalo Mountain.

Neighboring Streets

Any fence, landscaping and drainage swale along the neighborhood streets that has been provided by the developer must remain undisturbed.

Property Landscape Areas Overview

The following residential landscape design criteria is provided to enhance the definition of each home site. The primary goal is to protect and maximize individual property values through the implementation of a minimal landscape treatment. This criteria must be followed to successfully receive the approvals required by the Buffalo Mountain Architectural Review Committee (ARC).

The Homesite Coverage Area includes the traditional front, side and rear yard around the home, up to 70% Total Lot Area.

Site Preparation & Grading Standards

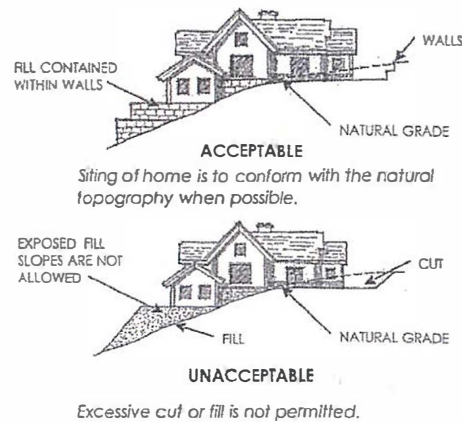
Grading and Siting

In order to maintain Buffalo Mountain in as natural a state as possible, control of grading is critical. The objective is to limit the disturbance of existing terrain and vegetation by restricting grading to a minimum. Homes should be designed to fit the existing topography without excessive cutting and filling. Terrain modification for buildings, walks and driveways must be kept to a minimum to preserve the existing land form and to prevent scaring, erosion and damage to root systems of trees. Below are examples of acceptable and unacceptable cut or fill.

Finish Grading

Water must be applied as necessary during site grading to provide optimum moisture content to the soil. Planting areas are not to be graded when their moisture content is so great that excessive compacting occurs, or so little that dust is formed and dirt clods do not break up.

Final grading of planting areas shall include light rolling, raking and hand work. This is necessary to achieve the desired contour, the flow line patterns and to ensure evenly finished surfaces with proper drainage.



Import & Export

Owners are encouraged to retain a civil engineer to calculate excavation requirements for their property. A balanced cut and fill on each property is highly recommended. In the event that soil must be imported or exported from the property, the owner will be responsible for this cost and to locate clean fill dump sites in the area. Import soils scheduled for use as landscape topsoil may be subject to an agricultural soil analysis at the discretion of the BMARC. Should the BMARC determine that specific sites require fill, owners and builders will be notified of this need and be permitted to deposit clean fill at appropriate locations.

Storm Water Drainage and Retention

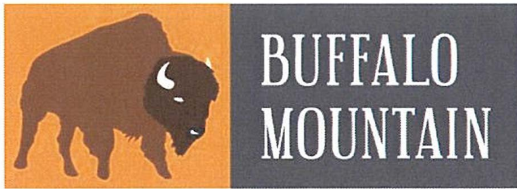
A temporary construction and permanent storm water plan must be submitted prior to construction. The system shall consist primarily of on-grade pervious systems with the intent of retaining as much storm water on the site as is practical. The use of underground storm drains should be minimized. Hardscape materials are only permitted when no other options are available.

Community landscape areas and amenities must be protected during all construction operations through the use of fencing or other barriers if needed. Streetscape materials damaged by construction will be replaced by the BMHA at the owner's expense. **USE OF THE COMMUNITY LANDSCAPE AREAS TO BRING IN MATERIALS BY TRUCK OR ANY OTHER MEANS IS STRICTLY PROHIBITED.**

Retaining Walls

Wherever possible, retaining walls should appear to be an extension of the residence and are subject to the same criteria relative to color, materials, and durability as the building itself. If not connected to the residence, walls should be constructed of architectural materials compatible with those employed in the residence. Otherwise, natural stacked indigenous stone walls are preferred.

The maximum total vertical exposure of approved walls shall not exceed six feet unless the ARC determines that an exception is warranted because of extraordinary circumstances or unavoidable topographic constraints. Where walls taller than six feet would be required to solve a grading issue, terracing with multiple walls is recommended, with a planting area of at least thirty inches between each wall section.



Section IV – Landscape Design

Drainage Easements

Natural or existing drainage pathways are not to be obstructed or built on. All site improvements must avoid or bridge such pathways without obstruction.

Site Uses & Elements

Fences

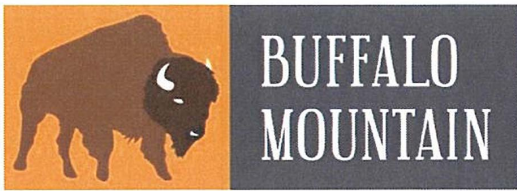
Respecting the natural mountain and prairie environment, perimeter, and lot line fencing is prohibited. Within the Home site coverage area, fencing can be constructed from compatible materials to the residence.

Residential Walls & Fences

Fences and walls are most aesthetically pleasing when used in conjunction with plant materials and landscape techniques to reinforce the rural character.

Private fencing and walls within each residential lot are subject to the following requirements:

- Fencing around landscaped areas in the Homesite Coverage Area is permitted
- Patio wall/fences are permitted within the front, side, and rear yards. These “patio areas” must appear to be an extension of the home. The height of these elements is subject to the approval of the ARC
- Approved fence material includes wrought iron and split rail. Any other materials are subject to approval
- Open wire or woven mesh, chain link, chicken wire, aluminum, sheet metal, plastic, fiberglass, reed or straw-like materials or other similar fencing materials are prohibited including privacy fencing
- Kennels must be screened from view from streets and neighbors, and locations must be approved by the ARC. The maximum size is 100 sq. ft. All other fencing for dog kennels is prohibited.
- Barbed wire or deterrent security devices are not permitted
- Non-climbable wrought iron fencing is permitted only around pool and spa areas and must be secured by latch or lock attached to a self-closing childproof gate. All local codes and governing conditions must be adhered to
- Walls and/or shrub planting screens are required around trash areas, mechanical equipment and propane tanks
- Walls located on sloping terrain may step or follow the grade, however; no portion of the footing or foundation may be exposed
- Boundary fences are prohibited



Section IV – Landscape Design

Irrigation

Areas that feature introduced landscaping, such as grass, trees, shrubs and/or ground cover, utilize an individual irrigation system for watering during dry months. In order to conserve water, an individual irrigation system provides a more efficient use of water than hand sprinklers. The designated irrigation period is from May 1st through September 30th each year.

Landscape areas that require irrigation shall conform to the following:

- Buried PVC sprinkler system or the utilization of drip irrigation systems
- Sprinklers and nozzles selected to provide water to the landscape that are compatible with their respective soils, slopes, exposure, orientation, and plant types
- Utilization of an automatic control system

Sundecks, Patios & Swimming Pool Decks

All exterior decks and terraces must be within the property's Allowable Coverage Area and are subject to the ARC's approval. Decks must be compatible with the terrain of the site. Expanses of deck or terrace must not create reflective glare to neighboring properties.

Decks and patios must be designed utilizing materials, textures, patterns and other elements that are consistent with the home's architectural style. Pressure treated wood used for these elements must be painted or stained.

Swimming Pools & Spas

Swimming pools and spas must be fully integrated into the existing site terrain and landscape design of the property. No swimming pool may extend above grade or beyond any slope.

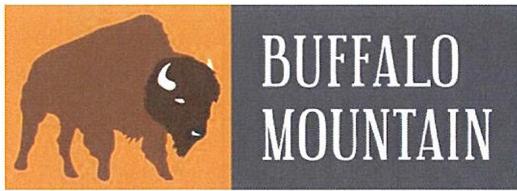
Pool equipment shall be located in a manner that complies with the local codes. Location of the equipment should minimize the impact of reflective glare and noise on neighboring property.

The pool equipment must be fully enclosed by solid walls and a solid gate that matches the style and color of the home. It may also be placed below grade in an equipment vault.

Pool fencing must comply with the standards described in Residential Walls and Fences and abide by local governing building codes as required. Backwash water from swimming pools and spas is not permitted to be discharged into the sewer system. Swimming pools and spas are subject to review and approval by the ARC.

Patio Structures

Patio structures, trellises and gazebos must be built within the Allowable Coverage Area as defined by the minimum setbacks of the property. Patio structures must be consistent with the architectural expression of the residential structure and constructed of compatible materials.



Section IV – Landscape Design

Newspaper Boxes

Colored plastic newspaper boxes on metal posts are not permitted. Newspaper receptacles are to be incorporated into the driveway posts.

Exterior Lighting Standards

The goal of Buffalo Mountain is to maintain the natural forest and meadow condition with minimal night time lighting.

The primary street lighting will be in the form of light posts (with house numbers) by the driveway entrance from the street. The light on top of the post may be solar or electrical through underground wiring.

All other exterior residential lighting is subject to the following criteria:

- Lighting must be directed downward and may not be used to light walls or building elements.
- Building mounted lighting must be directed downward and away from adjacent lots, streets and open spaces and may not be used to light walls, trees, or building elements for decorative purposes.
- All exterior lighting must provide significant shielding to ensure light sources are not directed at adjacent lots; no bare lamps are permitted.
- Only incandescent lamps with a maximum wattage of 75 watts is allowed for exterior lighting. Low voltage lighting is recommended.
- Colored lights are not allowed in exterior lighting.
- No lighting will be permitted in natural areas or outside the areas enclosed by patio or building walls.
- Security lights of any type or location must meet the requirements of shielding and maximum wattage.

Holiday Lighting and Decorations

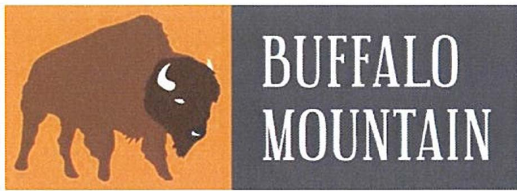
Colored holiday lighting and other holiday decorations are only allowed between Thanksgiving and January 15th. Clear lights are allowed between Thanksgiving and March 15th.

Water & Electric Meters

Water and electric meters are to be appropriately screened with landscape plant materials. Conformance with all utility and building code standards is required.

Mechanical Equipment

All air conditioning, heating equipment and soft water tanks must be screened from view and be insulated for sound attenuation when local codes allow. Window or roof mounted air conditioning units are prohibited.



Section IV – Landscape Design

Propane Tanks

Propane tanks are to be buried, or of a size such that they can be located immediately adjacent to a structure and screened from view. In addition, propane tanks must be painted to match the adjacent structure. Natural gas is available and can be hooked into from the street via Northwest Energy instead of propane.

Pets

All pets are to be contained within the owner's property or to be leashed.

Underground Wiring

All exterior wiring is to be installed underground. Appropriate attention must be paid to screening electric transformers and phone/TV pedestals from view with landscape elements.

Signage

- For special events of public interest including garage sales, one sign not exceed five square feet in area and four feet in height may be placed at the site of the event.

Obstruction of Views of Intersections

On a corner lot there shall be no obstruction to vision for traffic or pedestrians.

Driveway Posts

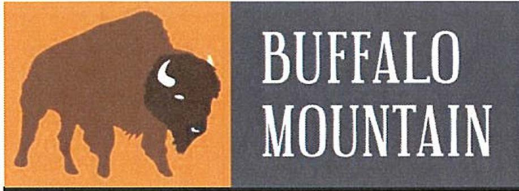
Prior to move in, all owners are required to purchase and install a post for lighting, house numbers, and if desired, a newspaper receptacle (inserted within the post). This is to be installed at the point where the driveway intersects the property line nearest the street. The light may be on a solar sensor or timer and is to be maintained by the homeowner. Examples of posts can be seen at the already established homes of Buffalo Mountain.

House Numbers

Two house number/address signs are required per home. One set of numbers on the driveway post and one on either the house or garage. Surface mounted address number boxes that are backlit are strictly prohibited.

Section V

Design Review & Approval Process



Design Review Process Governing Jurisdictions

Before any construction can begin, an “Application to Build Permit” from the Buffalo Mountain Architectural Review Committee (BMARC) must be obtained. A State Electrical Permit as well as a State Plumbing Permit must also be obtained. The BMARC permit promotes compliance with the Declaration of Covenants, Conditions and Restriction (CC&R's) and controls the harmony of external design with surrounding structures and topography. Under no circumstances will an Owner begin construction without the final approval of the BMARC.

Buffalo Mountain Submittals

Submittals of required application forms, conceptual plans and drawings, and exterior finish samples and specifications for the construction or installation of any improvements within Buffalo Mountain is to be made to the Buffalo Mountain Architectural Review Committee at the following address:

**Buffalo Mountain ARC
ATTN: Janette Johnston
PO Box 1830
Whitefish, MT 59937**

The Buffalo Mountain Architectural Review Committee may, upon written or proper notice, change the address for the submittal of plans and specifications.

The BMARC shall only review, approve and/or disapprove submitted plans and specifications regarding style, exterior design, appearance, location and compliance with the provisions set forth in these guidelines and requirements included in the CC&R's.

The BMARC shall not be responsible for reviewing and/or approving any improvements plans and specifications for: engineering design, structural engineering and safety, or for compliance with applicable zoning, building, or other county, state, or federal laws, ordinances, or policies.

Along with obtaining all necessary approvals from the BMARC as set forth in the CC&R's and these Architectural Design Guidelines, each Owner is obligated to obtain all necessary governmental approvals. Plans and specifications are to be prepared in accordance with all applicable governmental laws and regulations affecting the use of the property and the improvements thereon.

Buffalo Mountain Architectural Review Committee Membership

The Buffalo Mountain Architectural Review Committee will initially be composed of individuals appointed by the Buffalo Mountain Homeowner's Association. These individuals shall be limited to serving three consecutive one year terms.

The Buffalo Mountain Homeowner's Association Board reserves the right to amend, change or revise any or all of the requirements contained in this Architectural Design Guideline document at any time.



Design Review & Approval Procedure

By way of illustration, but without limitation, the following improvements require submission to the Buffalo Mountain Architectural Review Committee for approval:

- New construction or installation including: dwellings, garages, fences, retaining walls, steps, awnings, canopies, poles, trellises, patio overheads or decks, gazebos, sun decks, wind screens, game courts, swimming pools, fountains, spas, hot tubs, recreation apparatus and exterior lighting, sound systems and solar energy systems
- Installation or modification of landscape, hardscape, trees, shrubs, plants, irrigation or drainage systems, recreation areas or courts and surface drainage revisions

Subsequent changes or other improvements to the property after completion of the initially approved and/or constructed structure, landscaping, etc. must be submitted through the same design review procedure for approval by the BMARC.

Jurisdictional Review & Approval

Approval of any project by the Buffalo Mountain Architectural Review Committee does not waive the requirement for permits from local governing agencies, State of Montana, or any other governmental or quasi-governmental agency having jurisdiction in Buffalo Mountain. Nor does the obtaining of all required permits from local, State of Montana, or any other governmental or quasi-governmental agency having jurisdiction in Buffalo Mountain waive the need for the Buffalo Mountain Architectural Review Committee approval.

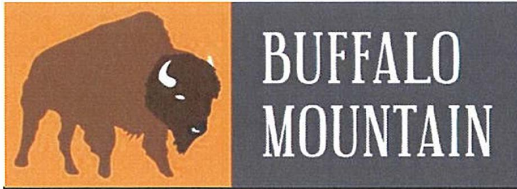
The Buffalo Mountain Architectural Review Committee will not knowingly approve a project that violates jurisdictional building or zoning codes. The BMARC takes no responsibility for plan's conformance to any criteria other than these Buffalo Mountain Architectural Design Guidelines.

Time Frame for Completion of the ARC Review Process

The Buffalo Mountain ARC will make every effort to complete its review process as quickly as possible. The ARC may meet to discuss outstanding architectural review requests that require further evaluation or discussion. Homeowners should plan their projects accordingly so as to allow for ample time in working through this required review process. Once the Architectural Design Review forms and all required or requested supporting documentation has been provided to the BMARC the architectural review process can commence. The BMARC has 30 days to render a decision from the time ALL required AND requested information has been provided. The date that all required and/or requested information is deemed to have been submitted will be determined at the sole discretion of the BMARC.

Notice of Approval or Denial

The BMARC will provide written notification to the homeowner of its decision to approve or deny their submitted architectural design request by either email and/or US mail.



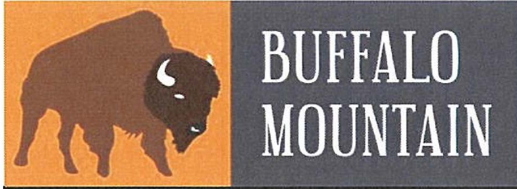
Architectural Review Submittal Instructions

Applicant must complete all required forms in their entirety as well as supply the required supporting documentation listed in the "Architectural Design Review Requirements Checklist". All deposits and payments shown in the Fee Schedule must be made at time of application submission or approval, as indicated. All submittals must be determined to be complete before the BMARC will commence review of proposals. Submittals that are not complete, as determined by the BMARC, will be promptly returned to the Owner.

The submittal of a request for architectural review must include the following items, as applicable, to the project:

- **COMPLETED REQUIRED ARC FORMS:**
 - "Project Primary Contacts" & "House Design, Square Footage & Building Height Summary"
 - "Architectural Design Review Requirements Checklist"
 - "Fees & Requirements" & "Owner Acknowledgment"
- **COPIES OF REQUIRED CONCEPTUAL PLANS & DRAWINGS, EXTERIOR FINISH SAMPLES & SPECIFICATIONS AND WORKING PLAN SETS:**
 - **Required Conceptual Plans & Drawings:** "Property Boundaries With Building Envelope & Required Setbacks Shown", "Grading & Drainage Plan" and "Landscape Plan" (Indicating "Homesite Coverage Area" & "Natural Coverage Area").
 - ***Required Exterior Finish Samples & Specifications:** "Exterior Elevation Renderings", "Exterior Finish Chart" (Listing: Manufacturer Name, Product Line, Finish Color/Type and Finish Sample of all building materials listed on the checklist)
 - **Required Working Drawings:** (1) Copy of Non-Scaled Plan Set and (2) Copies of Scaled Plan Set.
- **DEPOSIT/PAYMENT CHECK MADE OUT TO:** Buffalo Mountain HOA in the amount of: \$5,200.00 per the fee schedule.

* A sample board with finished samples, photos and product specifications can be submitted in place of the "Exterior Elevation Renderings" and/or the "Exterior Finish Chart".



Section V - Architectural Review & Approval Process

Project Primary Contacts

Property Information

Property Lot #: _____ Property Address: _____

Ownership Information

Property Owner's Name: _____

Current Mailing Address: _____

Property Owner's Phone Number: _____ Email: _____

Architect | Design Information

Architect/Designer Business Name: _____

Architect/Designer Primary Contact Name: _____

Mailing Address: _____

Architect/Designer Phone Number: _____ Email: _____

Contractor | Builder Information

Contractor/Builder Business Name: _____

Contractor/Builder Primary Contact Name: _____

Contractor/Builder Mailing Address: _____

Contractor/Builder Phone Number: _____ Email: _____

Contractor/Builder's License Number: _____

Person Submitting Application: _____ Owner _____ Architect/Designer _____ Contractor/Builder

House Design, Square Footage & Building Height Summary

Please provide square footage totals where area is requested.

Architectural Style: _____

Builder's Model Name: _____

Number of Floors: _____

Main Floor Area: _____

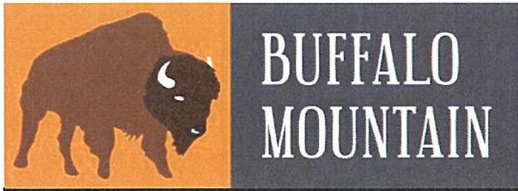
Lower Floor Area: _____

_____ Other Floor Area: _____

Garage Area: _____

Porch & Patio Area: _____

Maximum Height (Not To Exceed 35'): _____



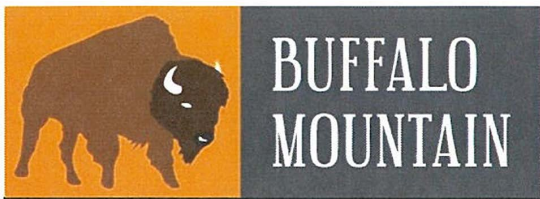
Section V – Architectural Review & Approval Process

Architectural Design Review Requirements Checklist

A. CONCEPTUAL PLANS & DRAWINGS REQUIRED			
SITE PLANS			
	Property Boundaries With Building Envelope & Required Setbacks Shown		
	Grading & Drainage Plan		
	Landscape Plan (Indicating "Homesite Coverage Area" & "Natural Coverage Area")		
Landscape Plan must show location of "Homesite Coverage Area" and "Natural Coverage Area". A maximum of 70% must be Homesite Coverage Area.			
% Of Homesite Coverage Area		% of Natural Coverage Area	

B. EXTERIOR FINISH SAMPLES & SPECIFICATIONS	
	Exterior Elevation Renderings
	Exterior Finish Chart Indicating: Manufacturer Name, Product Line, Finish Color/Type and Finish Sample of ALL building materials listed below.
	<ul style="list-style-type: none"> Siding, Trim, Soffit & Fascia, Board & Batten, Shake, Corbels and Trimbers, etc.
	<ul style="list-style-type: none"> Exterior Stone
	<ul style="list-style-type: none"> Roof Shingles or Material
	<ul style="list-style-type: none"> Windows
	<ul style="list-style-type: none"> Gutters & Downspouts
	<ul style="list-style-type: none"> Front Door & Sidelite(s), when applicable
	<ul style="list-style-type: none"> Garage Door
	<ul style="list-style-type: none"> Decking & Railing
	<ul style="list-style-type: none"> Exterior Light Fixtures
See example provided in Guidelines Section VI – Example Proposal of the preferred submittal format of the "Exterior Elevation Renderings and Exterior Finish Chart".	

C. WORKING DRAWINGS	
	Final Working Drawings – Complete Copy NOT TO SCALE
	(2) Copies of Complete Working Plan Set (Scale to be 1/4" = 1'-0")



Section V – Architectural Review & Approval Process

FEES & REQUIREMENTS

A total Submittal Fee of \$5,200.00 is due at time of application submission or upon approval, as specified in the fee schedule below, to the Buffalo Mountain Architectural Review Board. All deposit and payment checks should be made payable to: **Buffalo Mountain HOA** and mailed to:

Buffalo Mountain HOA
ATTN: Deb Burfeind
PO Box 1830
Whitefish, MT 59937

FEE SCHEDULE		
Refundable Architectural Design Review Deposit	To be paid by homeowner at time of Design Review SUBMISSION and refunded at REVIEWED & APPROVED COMPLETION OF CONSTRUCTION AND LANDSCAPING by the Buffalo Mountain Architectural review board.	\$2,500.00
Buffalo Mountain HOA Application Fee	To be paid by home owner at time of Design Review SUBMISSION	\$200.00
Water & Sewer Impact Fee	To be paid by homeowner at time of Design Review APPROVAL	\$1,500.00
Road & Common Area Reserve Fund	To be paid by homeowner at time of Design Review APPROVAL	\$1,000.00

Owner Submittal Acknowledgement

As a Buffalo Mountain Owner intending to build, I/we have read and reviewed with my Architect and/or Contractor, the current Buffalo Mountain Architectural Design Guidelines (ADG) and the Declaration of Covenants, Conditions and Restriction (CC&R's) and fully understand the requirements set forth as they pertain to this application. All work will be completed in accordance with the approved documents and application. Any change to any building associated with this application shall be *resubmitted* to the Architectural Review Committee and obtain approval prior to commencement of any and all improvements.

Owner's Signature: _____ Date: ____ / ____ / ____

Owner's Name (Printed) _____

Architect/Designers Signature: _____ Date: ____ / ____ / ____

Architect/Designers Name (Printed): _____

Contractor/Builder's Signature: _____ Date: ____ / ____ / ____

Contractor/Builder's Name (Printed) _____

"OFFICE USE ONLY"

☐ **Approved** ☐ **Conditionally Approved** ☐ **Denied**

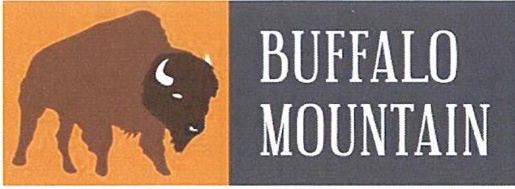
Conditions To Be Met or Reason(s) Denied : _____

Committee Member Signature: _____ Date: ____ / ____ / ____

Committee Member Signature: _____ Date: ____ / ____ / ____

Section VI

Example Proposal



Section VI - Example Proposal

Project Primary Contacts

Property Information

Property Lot #: 86 Property Address: 291 Bison Circle Drive

Ownership Information

Property Owner's Name: John Smith

Current Mailing Address: 123 Happy Place St , Hometown, MT 59901

Property Owner's Phone Number: 555-435-5142

Email: johnsmith@gmail.com

Architect | Design Information

Architect/Designer Business Name: BD Design

Architect/Designer Primary Contact Name: Brad Butler

Mailing Address: 213 7th Ave W Kalispell, MT 59901

Architect/Designer Phone Number: 555-621-1234

Email: bradsdesigns@gmail.com

Contractor | Builder Information

Contractor/Builder Business Name: Westcraft Homes

Contractor/Builder Primary Contact Name: Paul Rose

Contractor/Builder Mailing Address: 315 Park Ave Dr Kalispell, MT 59901

Contractor/Builder Phone Number: 555-123-4567

Email: westcraft@gmail.com

Contractor/Builder's License Number: Yx123456789

Person Submitting Application: ☐ Owner ☐ Architect/Designer ☒ Contractor/Builder

House Square Footage & Building Height Summary

Please provide square footage in this where area is requested.

Architectural Style: Craftsman

Builder's Model Name: Monarch

Number of Floors: 2

Main Floor Area: 1,569 SQ FT

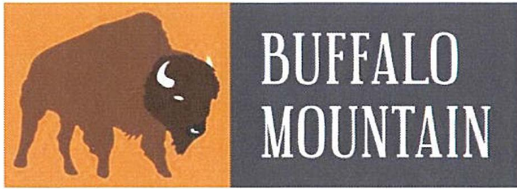
Lower Floor Area: 1,569 SQ FT

Other Floor Area:

Garage Area: 777 SQ FT

Porch & Patio Area: 350 SQ FT

Maximum Height (Not To Exceed 35'): 33'



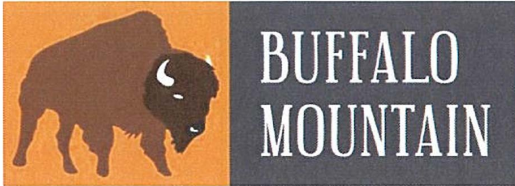
Section VI – Example Proposal

Architectural Design Review Requirements Checklist

A. CONCEPTUAL PLANS & DRAWINGS REQUIRED			
SITE PLANS			
X	Property Boundaries With Building Envelope & Required Setbacks Shown		
X	Grading & Drainage		
X	Landscape Plan (Indicating "Homesite Coverage Area" & "Natural Coverage Area")		
Landscape Plan must show location of "Homesite Coverage Area" and "Natural Coverage Area". A maximum of 70% must be Homesite Coverage Area.			
% Of Homesite Coverage Area	50%	% of Natural Coverage Area	50%

B. EXTERIOR FINISH SAMPLES & SPECIFICATIONS	
X	Exterior Elevation Renderings
X	Exterior Finish Chart listing: Manufacturer Name, Product Line, Finish Color/Type and Finish Sample of ALL of the materials listed below.
X	<ul style="list-style-type: none"> Siding, Trim, Soffit & Fascia, Board & Batten, Shakes, Corbels and Timbers, etc
X	<ul style="list-style-type: none"> Exterior Stone
X	<ul style="list-style-type: none"> Roof Shingles or Material
X	<ul style="list-style-type: none"> Windows
X	<ul style="list-style-type: none"> Gutters & Downspouts
X	<ul style="list-style-type: none"> Front Door & Sidelite(s)
X	<ul style="list-style-type: none"> Garage Door
X	<ul style="list-style-type: none"> Decking & Railing
X	<ul style="list-style-type: none"> Exterior Light Fixtures
See example provided in Guidelines Section VI – Example Proposal of the preferred submittal format of the "Exterior Elevation Renderings and Exterior Finish Chart".	

C. WORKING DRAWINGS	
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Section VI – Example Proposal

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Buffalo Mountain HOA
ATTN: Deb Burfeind
PO Box 1830
Whitefish, MT 59937

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Water & Sewer Impact Fee	To be paid by homeowner at time of Design Review APPROVAL	\$1,500.00
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Owner's Signature: _____ Date: _____
Owner's Name (Printed): _____
Architect/Designers Signature: _____ Date: _____
Architect/Designers Name (Printed): _____
Contractor/Builder's Signature: Paul Rose Date: 01/01/17
Contractor/Builder's Name (Printed): Paul Rose

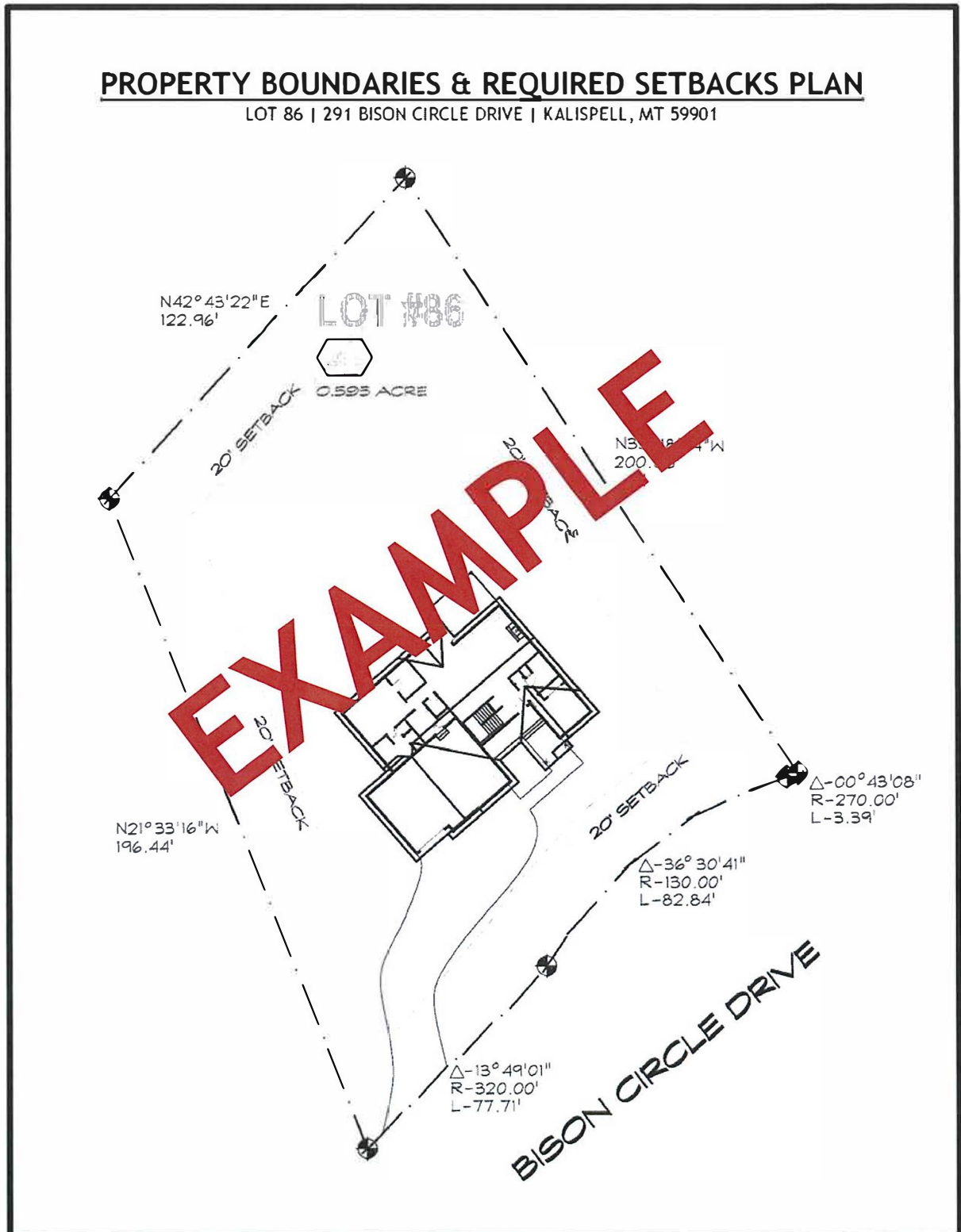
"OFFICE USE ONLY"

☐ **Approved** ☐ **Conditionally Approved** ☐ **Denied**

Conditions To Be Met or Reason(s) Denied : _____

Committee Member Signature: _____ Date: / /
Committee Member Signature: _____ Date: / /

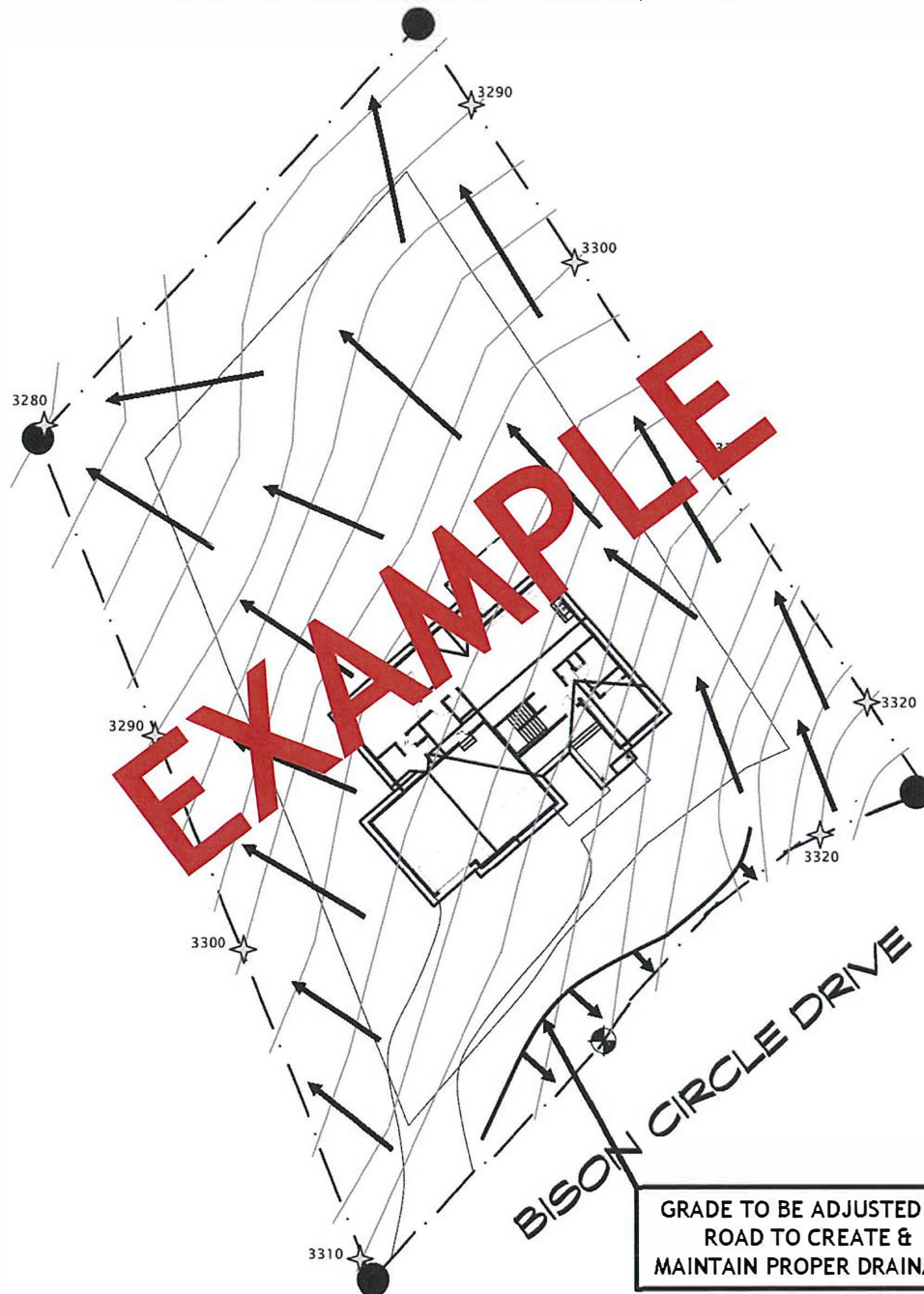
CONCEPTUAL PLANS & DRAWINGS REQUIRED SAMPLES





GRADE & DRAINAGE PLAN

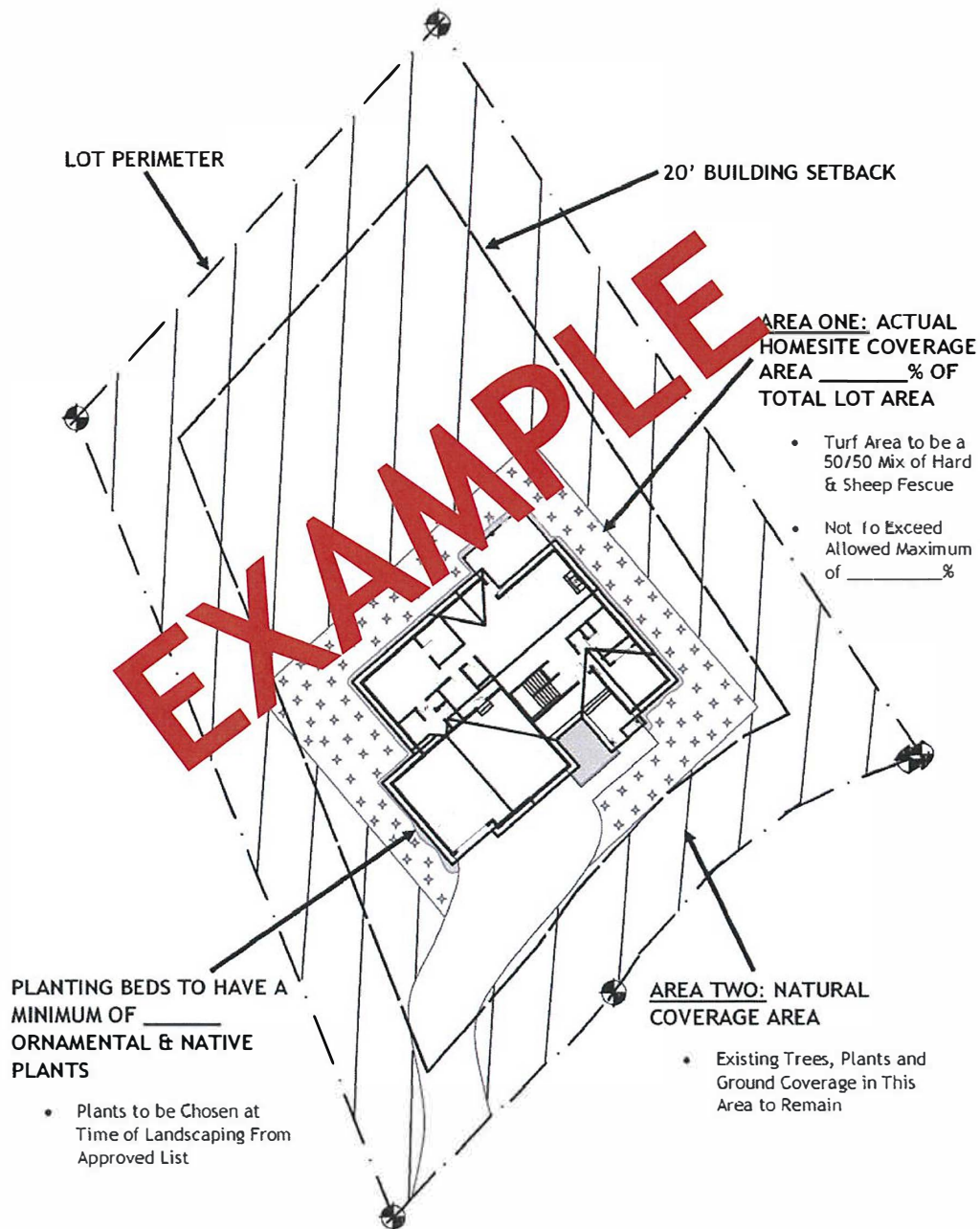
LOT 86 | 291 BISON CIRCLE DRIVE | KALISPELL, MT 59901





LANDSCAPING PLAN

Lot 86 - 291 Bison Circle Drive, Kalispell, MT 59901



EXTERIOR FINISH ELEVATION EXAMPLES

FRONT EXTERIOR ELEVATION RENDERING



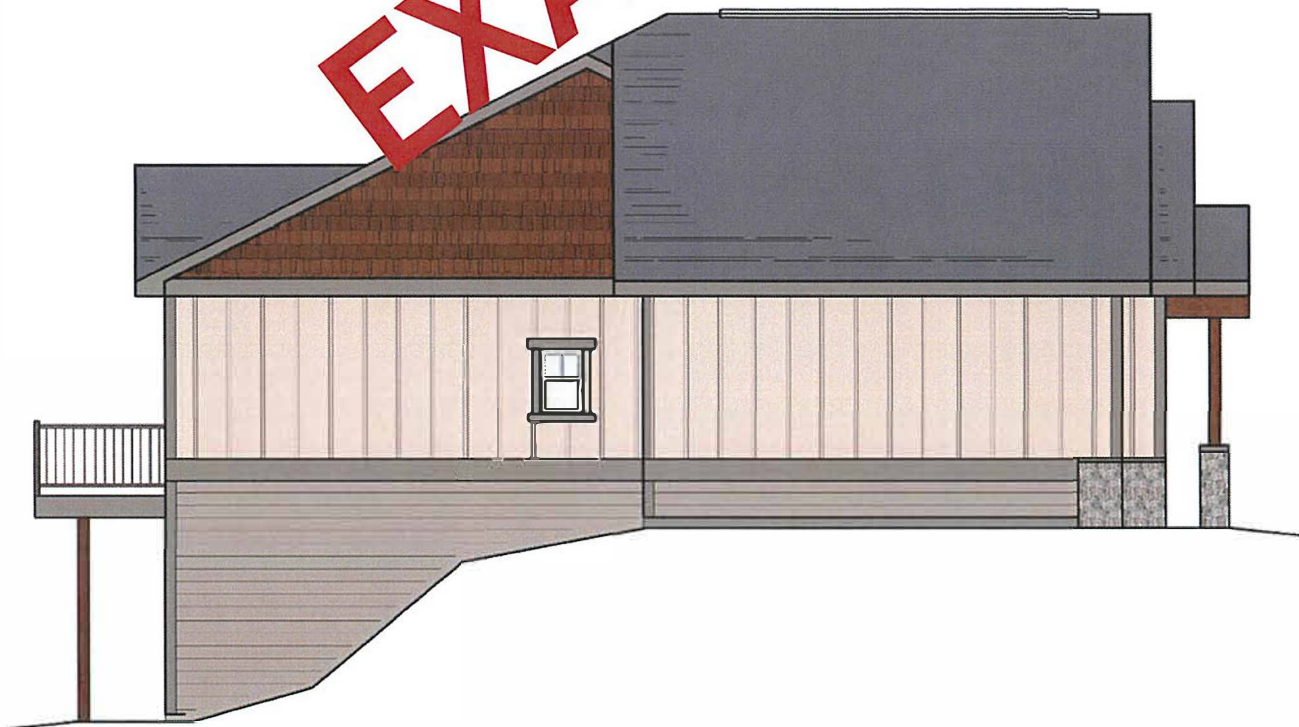
REAR EXTERIOR ELEVATION RENDERING



RIGHT SIDE EXTERIOR ELEVATION RENDERING



LEFT SIDE EXTERIOR ELEVATION RENDERING SAMPLE



EXTERIOR FINISH CHART EXAMPLE

BUFFALO MOUNTAIN EXTERIOR FINISHES LOT 86 291 BISON CIRCLE DRIVE KALISPELL, MT 59901		
TYPE & FINISH	PRODUCT SPECIFICATION	FINISH SPECIFICATION
SIDING 	MANUFACTURER: LP® Building Products PRODUCT LINE: LP® SmartSide® Trim & Siding	MANUFACTURER: Sherwin Williams® FINISH: Painted COLOR: Ethereal Mood 7639
TRIM & SOFFIT/FASCIA 	MANUFACTURER: LP® Building Products PRODUCT LINE: LP® SmartSide® Trim & Siding	MANUFACTURER: Sherwin Williams® FINISH: Painted COLOR: Anonymous 7046
BOARD & BATTEN 	MANUFACTURER: LP® Building Products PRODUCT LINE: LP® SmartSide® Trim & Siding	MANUFACTURER: Sherwin Williams® FINISH: Painted COLOR: Canvas Tan 7531
CORBEL & BEAMS 	MANUFACTURER: Western Building Center PRODUCT LINE: Standard Wood Elements	MANUFACTURER: Sherwin Williams® FINISH: Stained COLOR: Warm Chestnut 3114
STONE 	MANUFACTURER: Cultured Stone® By Boral® PRODUCT LINE: Dressed Fieldstone	MANUFACTURER: Cultured Stone® By Boral® FINISH: Natural Stone Veneer COLOR: Echo Ridge
ROOF SHINGLES 	MANUFACTURER: CertainTeed® PRODUCT LINE: Landmark® Series	MATERIAL: Two-Piece Laminated Fiber Glass-Based Construction COLOR: Driftwood

BUFFALO MOUNTAIN EXTERIOR FINISHES LOT 86 291 BISON CIRCLE DRIVE KALISPELL, MT 59901		
TYPE & FINISH	TYPE & FINISH	TYPE & FINISH
WINDOWS 	MANUFACTURER: Cascade Windows® PRODUCT LINE: Cascade® Series	MATERIAL: UV Stabilized Polyvinyl-chloride (PVC) Extruded Frame With Set-Back Double Pane Fixed Glass COLOR: Clay 
EAVES & DOWNSPOUT 	MANUFACTURER: Custom-Bilt Metals® PRODUCT LINE: "K" or "O/G" Style Seamless Gutter in 5" & 6"	MATERIAL: Continuous Aluminum COLOR: Bronze
FRONT DOOR WITH SIDE LITE 	MANUFACTURER: THERMA-TRU® DOORS PRODUCT LINE: Classic-Craft® American Style Collection With Low-E Glass	MATERIAL: Fiberglass MANUFACTURER: Sherwin Williams® FINISH: Stained COLOR: Warm Chestnut 3114
GARAGE DOOR 	MANUFACTURER: Wayne Dalton® PRODUCT LINE: 600 Classic Steel Model	MATERIAL: Embossed High Tensile Steel Panels STYLE: Sonoma Without Windows COLOR: Taupe
DECK & RAIL 	MANUFACTURER: Trex Decking® & Fortress Railing PRODUCT LINE: Trex Select & FE26 Residential Iron Railing	MATERIAL: Composite Decking & Iron Railing DECK COLOR: Saddle RAILING COLOR: Antique Bronze
LIGHTING 	MANUFACTURER: Portfolio® PRODUCT LINE: Amberset Specialty Bronze Outdoor Lights	MATERIAL: Steel COLOR: Bronze